

11. AMENDMENTS TO STRATA PLANS

Amendments are allowed following DAC approval to deposited Strata Plans by:

- Substituting a new plan in the A3 format.
- Amendment in red on a full size print of the deposited Strata Plan (Prior approval before lodging the amendment is required from the Plans Client Advice Officer)

Where a complex/multisheet plan is drawn in the common plan format and only minor amendments are required, dispensation may be granted by the Registrar-General to allow lodgement of a substitute sheet (at the same size as the original sheet) in the existing common plan format. For dispensation contact the Plans Client Advice officer.

11.1 Outer Boundary Requirements for Amendments to a Strata Plan

11.1.1 When a Strata Plan is being amended, an outer boundary plan is required in the following cases:

- The Strata Plan being amended did not originally have an outer boundary plan and the amendment is on or close to the boundary.
- The Strata Plan being amended did originally have an outer boundary plan but there is insufficient data to ensure that the amendments are wholly contained within the Strata Plan.

11.2 General Requirements

11.2.1 The original Strata Plan number must be used.

11.2.2 The amendments must agree with the new Development Assessment Commission (DAC) certificate.

11.2.3 Where the original Strata Plan was shown in angles, the substitute Strata plan must also be shown in angles, unless a new outer boundary plan that is in bearings has been accepted for filing. These bearings must be shown.

11.2.4 Where a Road/Reserve vests in an amendment to a Strata Plan they must not merge with existing Roads/Reserve. A new allotment and road name must be shown.

11.2.5 Amendments to Strata Plans must include a change within the bold black lines (i.e. altering encroachments, adding balconies over an abutting road cannot be done without an amendment within the bold black lines).

11.2.6 Where an amendment to a Strata Plan changes the boundaries of a Unit(s) the original unit number must be retained.

11.2.7 Where an amendment to a Strata Plan creates any additional Units the next available Unit number must be used.

11.2.8 Strata Plans lodged prior to the Strata Titles Act 1988 have existing boundaries set out to the centre line rather than to the inside face of the wall (unless defined differently on the relevant Strata Plan).

11.2.9 Unless stated otherwise in this section, the plan drafting requirements as set out in General Requirements for Diagram Sheets (see Section 7 General Requirements for Diagram Sheets) and Community Plans (see Section 9 Community Plans, for Unit Subsidiaries refer to Lot Subsidiaries and substitute UNIT for LOT) apply.

11.2.10 Strata Plans contain the following components:

- Site Plan
- Floor Plan(s)

11.3 Amendments by substituting a Plan in the A3 Textual and Diagram Sheet Format.

For general textual sheet requirements, refer to Section 1 General Requirements for Textual Sheets.

For general diagram sheet requirements, refer to Section 7 General Requirements for Diagram Sheets

For unit entitlement schedule requirements see LTO Forms Online and Notice to Lodging Parties (NTLP) 158.

- 11.3.1 The plan PURPOSE on the textual sheet must show STRATA.
- 11.3.2 The last plan reference is the original Strata Plan outer boundary plan or a later outer boundary plan.
- 11.3.3 The label SUBSTITUTE SHEET must be shown below the plan number on the textual sheet and on all diagram sheet(s) in upper case lettering with a character height of 5mm.
- 11.3.4 Only the new DAC number is shown in the heading by Development No. on the textual sheet.
- 11.3.5 Where the previous amendment to the Strata Plan was in the A3 Plan format the next version number after the prior version number is shown.
- 11.3.6 The Surveyors Certificate (see Amendments to a Strata Plan in table 3.1 – Certification Decision Table) must be shown.
- 11.3.7 The original title reference(s) and land description prior to the deposit of the Strata Plan must be shown in the Subject Title Details on the textual sheet.
- 11.3.8 Parcels affected by the amendments to a Strata Plan must be shown in the Other Titles Affected Panel on the textual sheet (eg: the current title references for Unit 1 and 3 are shown as the boundaries between them are being altered. The remaining Units within the scheme are not shown).
- 11.3.9 All sheets in the amended plan must be drawn to scale but do not need to be drawn to the same scale as the original plan.

11.4 Amendments by substituting sheets in the Common Plan Format - Site and Floor Plan Sheet Sizes

11.4.1 Strata Site Plans must be submitted in one of the following formats:

- DOL - F, B2 size, 500mm x 707mm (see [Figure 11.1](#))
- DOL – D1, B3 size, 353mm x 500mm (see [Figure 11.2](#))

Strata Floor Plans must be submitted in one of the following formats:

- DOL – B, B2 size, 500mm x 707mm (see [Figure 11.3](#))
- DOL – E, B3 size, 353mm x 500mm (see [Figure 11.4](#))

11.4.2 All sheets must be:

- Drawn in metric data. Imperial data cannot be used.
- The same sheet size throughout the plan.
- The same metric scale throughout the plan.

If the original plan was drawn to a metric scale the amended plan must be drawn to the same scale.

	STRATA PLAN NUMBER
	S
	THIS IS SHEET OF SHEETS
	DEPOSITED / /
	PRO REGISTRATION-GENERAL
	MAP REFERENCE
	TITLE REFERENCE
	O.B./LAST PLAN REF. TOTAL AREA
	HUNDREDS
	TOWNSHIP/AREA
	COUNCIL
	SCALE METRES
ANNOTATIONS	
<p>I, _____ a licensed surveyor under the Surveyors Act, 1972 certify:</p> <p>(a) that this plan correctly delineates the boundaries of the land comprised in the plan and all wells, and installations, common property and other buildings shown on the plan;</p> <p>(b) that this plan is correct for the purposes of the Strata Titles Act, 1980, and regulations.</p> <p>Dated this _____ day of _____</p> <p style="text-align: right;">_____ Licensed Surveyor</p>	

Figure 11.1

	STRATA PLAN NUMBER	
	S	
	THIS IS SHEET	OF SHEETS
	DEPOSITED / /	
	PRO REGISTRAR-GENERAL	
	MAP REFERENCE	
	TITLE REFERENCE	
	O.B./LAST PLAN REF.	TOTAL AREA
	HUNDRED	
	TOWNSHIP/AREA	
COUNCIL		
SCALE		
0 METRES		
ANNOTATIONS		
<p>I, a licensed surveyor under the Survey Act, 1992, certify:-</p> <p>(a) that this plan correctly delineates the boundaries of the land comprised in the plan and all units, unit subsidiaries, common property and other buildings shown on the plan;</p> <p>(b) that this plan is correct for the purposes of the Strata Titles Act, 1988, and regulations.</p> <p>Dated this day of</p> <p style="text-align: right;">..... Licensed Surveyor</p>		

DOL - D1

Figure 11.2

STRATA PLAN NUMBER	
S	
THIS IS SHEET OF SHEETS	
DEPOSITED / /	PRO REGISTRAR-GENERAL
MAP REFERENCE	
COUNCIL	
SCALE	METRES
0	
ANNOTATIONS	

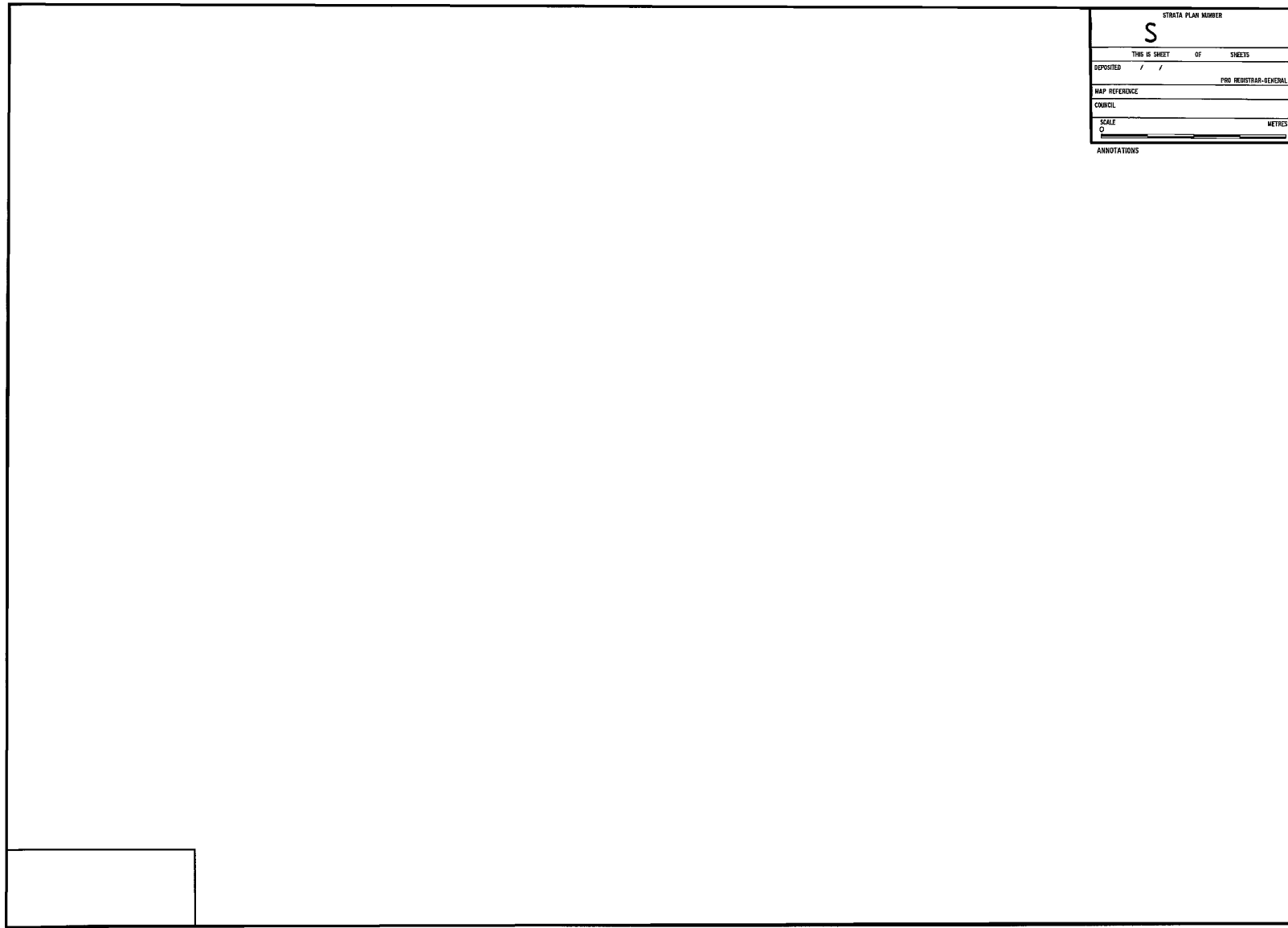


Figure 11.3

- 11.4.3 Character height for headings for each box within a panel must be 2mm.
- 11.4.4 Character height for information in a panel must be in the range 2.5mm to 3mm.
- 11.4.5 The information in the panel must not be underlined.
- 11.4.6 The panel layout for the site plan must be as follows:
 - Strata plan number. Character size of Strata Plan number is 10mm.
 - Sheet number
 - Deposited panel
 - Map reference
 - Title reference
 - Outer Boundary reference/Last Plan Reference
 - Total area
 - Hundred
 - Area name
 - Council name
 - Current land description and historical identifier
 - Bar scale must be 100mm

For an example see [Figure 11.5](#)

	110mm	
17mm	STRATA PLAN NUMBER	
	S	
7.5mm	THIS IS SHEET	OF SHEETS
12.5mm	DEPOSITED / /	
	PRO REGISTRAR-GENERAL	
7.5mm	MAP REFERENCE	
12.5mm	TITLE REFERENCE	
7.5mm	O.B./LAST PLAN REF.	TOTAL AREA
25mm	HUNDRED	
	TOWNSHIP/AREA	
	COUNCIL	
25mm		
12.5mm	SCALE METRES	
	0	
	<u>ANNOTATIONS</u>	

Figure 11.5

11.4.7 The panel layout for Floor Plans must be as follows:

- Strata Plan number
- Sheet number
- Deposited Panel
- Map Reference
- Council name
- Bar Scale to be 100mm long

For an example see [Figure 11.6](#)

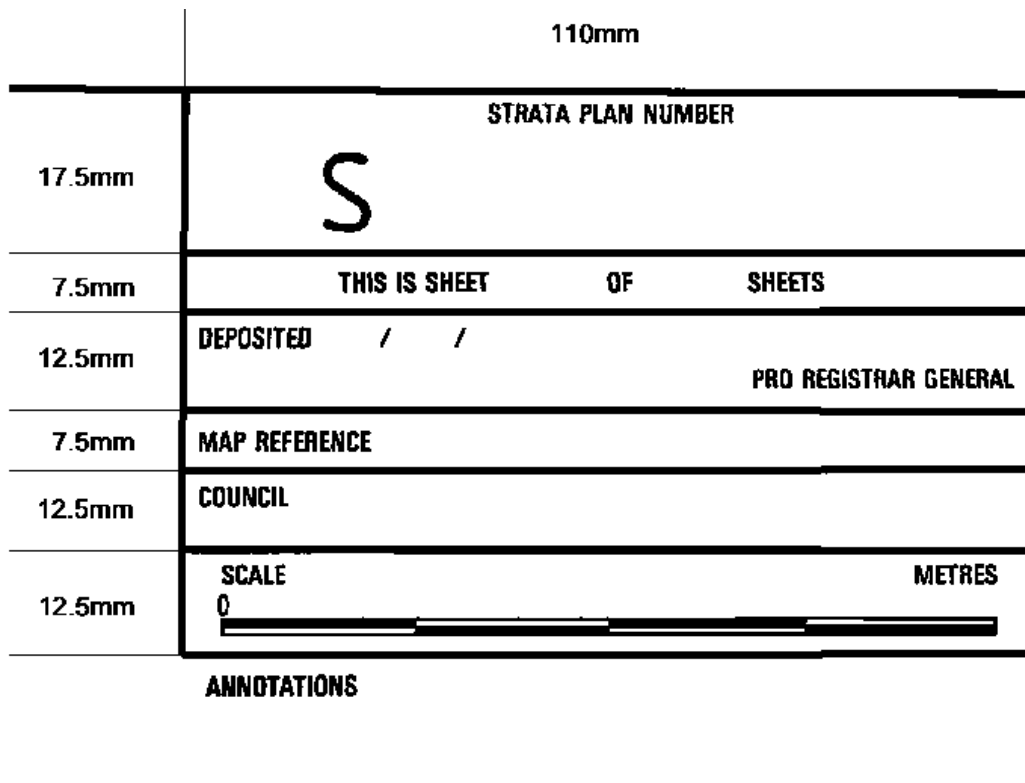


Figure 11.6

11.5 Sheet Headings and Contents in the Common Plan Format

The sheet heading is located at the top of the sheet near the panel.

11.5.1 The character height in the sheet heading must be 5mm.

11.5.2 Sheet headings must be as follows:

- SITE PLAN requirements must be as set out in Community Plans except that service infrastructure must not be shown (Section 9 Community Plans).
- FLOOR PLANS (eg: GROUND FLOOR PLAN, FIRST FLOOR PLAN etc.) must be as set out in Community Plans except that lot subsidiaries must be shown as unit subsidiaries (Section 9 Community Plans).

11.6 Specific Strata Plan Requirements in the Common Plan Format

- 11.6.1 Where the Site Plan is amended, the Irrigation Area, Division, Hundred, Area, Council, Map Reference panels must be completed using current information.
- 11.6.2 Where the Site Plan is amended, the OB/Last Plan Reference and Total Area must be completed using information from the original Strata Plan unless there is a later outer boundary plan
- 11.6.3 All required notations (eg: easements etc.) must be shown under Annotations.
- 11.6.4 The Surveyors Certificate (see Amendments to a Strata Plan in Table 3.1 – Certificate Decision Table) must be shown on all sheets of the amended Strata Plan.

On substitute sheets the pre-printed surveyor’s certificate must be left blank and struck through. On the site plan the following notation must be shown directly above the struck through certificate:

FOR CERTIFICATION BY SURVEYOR UNDER THE SECOND SCHEDULE OF REGULATIONS SEE AMENDED ORIGINAL.

11.7 Common Plan Format Easements

See Section 5.29 for Easements in Amendments to Community/Strata Plans.

11.8 Amendments in Red

- 11.8.1 Amendments in red must be only of a minor nature and not be over an existing amendment in red.
- 11.8.2 A combination of an amendment in red and a substitute sheet is not permitted.
- 11.8.3 All amendments in red require prior approval from the Plans Client Advice Officer.
- 11.8.4 Amendments must be plotted in red on a full size print of the deposited Strata Plan.
- 11.8.5 The new boundaries and data must not obstruct existing boundaries and data.
- 11.8.6 For amendments, identifiers, data, unit numbers, labels etc. must be stuck through in red and the existing boundaries crossed through in red using small crosses (see [Figure 11.7](#)).

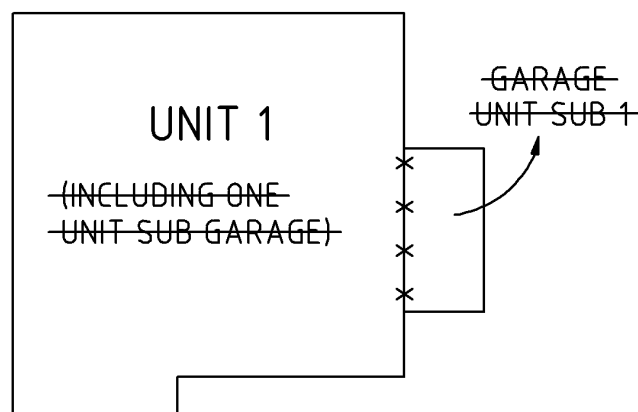


Figure 11.7

- 11.8.7 Erasures or the use of white out fluid on the print to be lodged or the DAC print is not acceptable.
- 11.8.8 The Surveyors Certificate (see Amendments to a Strata Plan in Table 3.1 – Certificate Decision Table) must be shown on all sheets being amended.

11.9 Amending the external boundaries of a Strata Plan

Methods of amending the external boundaries of a Strata Plan:

- Where the whole of an allotment is added to a Strata Plan
- Where portion of an allotment is added to a Strata Plan
- Where land is truncated from a Strata Plan and added to an Allotment
- Where land is truncated from a Strata Plan to form an Allotment
- Where land is both truncated from and added to a Strata Plan to form an Allotment

11.10 Amendments where the whole of an allotment is added to a Strata Plan

An outer boundary plan in conjunction with a substituted amended Strata Plan will be required. Exemption to lodge an Outer Boundary plan may be given if the land being added to the Strata Plan is in accordance with section 4.28.5. DAC approval is required for the amended Strata Plan.

The amended Strata Plan must show:

- The original and new Outer Boundary Plan numbers in the OB/ LAST PLAN REFERENCE
- The land in the original Strata Plan and the allotment being added in the land description.

This section is to be read in conjunction with the other requirements as set out in section 11.

11.11 Amendments where portion of an allotment is added to a Strata Plan

A certified plan of division must be lodged in conjunction with a substituted amended Strata Plan. DAC approval is required for both plans.

The Division Plan must show:

- The balance of the Strata Plan as open. The full extent of the Strata Plan must not be shown.
- All the land being divided in the SUBJECT TITLE DETAILS eg former Allotment and where applicable the Common Property and Unit titles as parties to the division.

The amended Strata Plan must show:

- The Outer Boundary Plan and the new Division Plan numbers in the OB/ LAST PLAN REFERENCE
- The land in the original Strata Plan and the portion of the land being added in the land description.

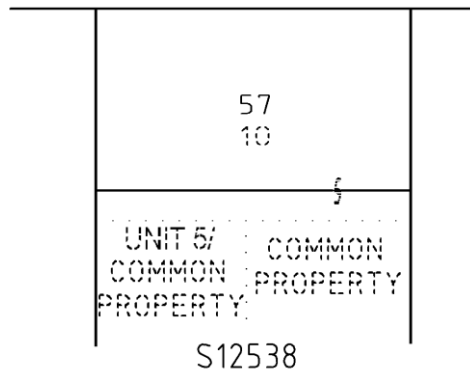
This section is to be read in conjunction with the other requirements as set out in section 11.

In the example below portion of Allotment 10 in D1178 is being added to the Common Property and Unit 5 in S12538. The balance Allotment is 57.

The SUBJECT TITLE DETAILS for the plan of division must include the land that is being affected eg. Allotment 10 in D1178 and the land in the Strata Plan that will receive the added land eg the Common Property and Unit 5 in S12538.

The land description of the amended Strata Plan must be the same as the original Strata Plan and include the former identity of the land added to the Strata Plan eg:

Portion of Allotment 10 in D1178 must be added to the land description in the amended Strata Plan.



11.12 Amendments where land is truncated from a Strata Plan and added to an Allotment

A certified plan of division must be lodged in conjunction with a substituted amendment to the Strata Plan. DAC approval is required for both plans.

The Division Plan must show:

- The balance of the Strata Plan as open. The full extent of the Strata Plan must not be shown.
- All the land being divided in the SUBJECT TITLE DETAILS eg former Allotment and where applicable the Common Property and Unit titles as parties to the division.

The amended Strata Plan must show:

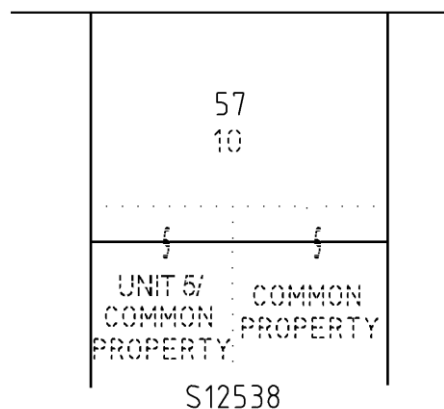
- The Outer Boundary Plan and the new Division Plan numbers in the OB/ LAST PLAN REFERENCE.
- Portion of the original title in the Strata Plan in the land description.

This section is to be read in conjunction with the other requirements as set out in section 11.

In the example below Allotment 10 in D1178 and portion of Common Property and Unit 5 in S12538 are merging to form Allotment 57. The original Strata Plan land description is Allotment 1 in D 1133.

The SUBJECT TITLE DETAILS for the plan of division must include the land that is being affected eg. Allotment 10 and Portion of the Common Property and Unit 5.

The land description of the amended Strata Plan must be portion of the land in the original Strata Plan eg. Portion of the original title in the Strata Plan and PT Allotment 1 in D1133.



11.13 Amendments where land is truncated from a Strata Plan to form an Allotment

A Certified plan of division must be lodged in conjunction with a substituted amendment to the Strata Plan. DAC approval is required for both plans.

The Division Plan must show:

- The balance of the Strata Plan as open. The full extent of the Strata Plan must not be shown.
- All the land being divided in the SUBJECT TITLE DETAILS eg where applicable the Common Property and Unit titles that are parties to the division.

The amended Strata Plan must show:

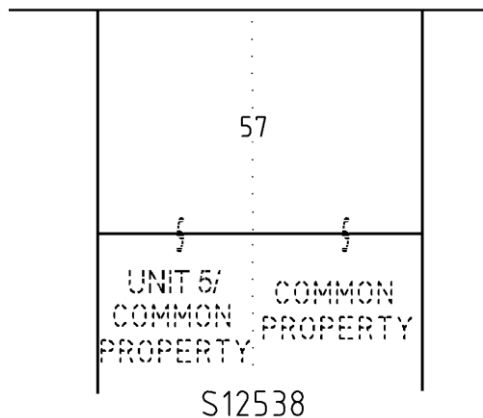
- The Outer Boundary Plan and the new Division Plan numbers in the OB/ LAST PLAN REFERENCE.
- Portion of the land in the original Strata Plan in the land description.

This section is to be read in conjunction with the other requirements as set out in section 11.

In the example below portion of the Common Property and Unit 5 in S12538 is being divided to form Allotment 57. The original Strata Plan land description is Allotment 3 in D2341.

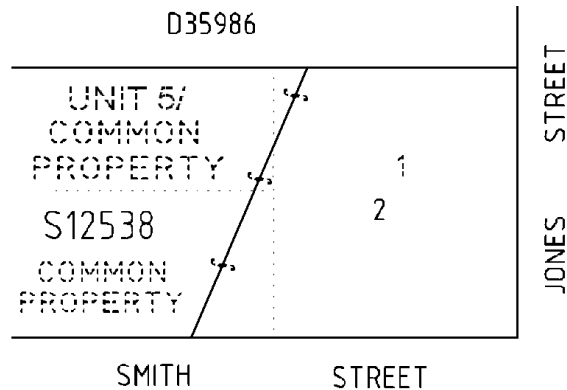
The SUBJECT TITLE DETAILS of the plan of division is the Common Property and Unit 5 in S12538.

The Land Description for the amended Strata Plan must be portion of the land in the original Strata Plan eg. PT Allotment 3 in D2341being portion of the title.



11.14 Amendments where land is both truncated and added to a Strata Plan to form an Allotment

In the example below portion of Unit 5 and Common Property in S12538 and Allotment 1 is being divided to form Allotment 2.



11.15 Cancelling a Strata Plan

Methods of cancelling a Strata Plan:

- By lodgement of a Division Plan
- By lodgement of a new Community Plan
- By lodgement of a Community Plan with the same number as the Strata Plan. See Section 9.42 - A Strata Plan adopting the Community Titles Act and a subsequent amendment.
- By reverting to the prior land description.

11.16 Cancellation by lodgement of a Division Plan

- A Certified Division Plan is lodged and on deposit the Strata Plan is cancelled.
- All the Units and Common Property titles must be shown in the Subject Title Details on the Division Plan.
- Roads and Reserves that were vested in the Strata Plan remain in the Strata Plan.

11.17 Cancellation by lodgement of a new Community Plan

- A new Community Plan is lodged using the existing titles, Units and Common Property of the Strata plan in the Subject Title Details
- A new Outer Boundary is required unless the requirements of Section 2.28 are fulfilled
- The Strata Plan is cancelled and the land reverts to the original land description
- Where the original land description does not uniquely identify the land as a single allotment a Filed Plan with the heading REIDENTIFICATION OF LAND AND REDESIGNATION OF PARCELS must be lodged with the application to cancel the Strata plan.
- Upon cancellation of the Strata Plan a new interim title will issue and the Community Plan is updated with the new title reference and the original land description or the redesignated parcel land description in the Subject Title details
- Roads and Reserves that were vested in the Strata plan remain in the Strata plan.

11.18 Cancellation by reverting to the prior land description

- The Strata Plan is cancelled.
- On cancellation of a deposited Strata Plan the land reverts to the original land description.
- Where the original land description does not uniquely identify the land as a single Allotment a Filed Plan with the heading REIDENTIFICATION OF LAND AND REDESIGNATION OF PARCELS must be lodged with the application to cancel the Strata Plan.
- Roads and Reserves that were vested in the Strata Plan remain in the Strata Plan.

11.19 The effect on existing easements when a Strata Plan is to be cancelled is as follows:

- Internal easements are extinguished (by Section 90C of the Real Property Act 1886)
- Where a Strata Plan is subject to and/or appurtenant to easements these easements remain unchanged unless affected by documentation.

11.20 Amalgamation of Strata Plans

Where two or more deposited strata plans are contiguous, the strata plans may be amalgamated to form a single strata scheme.

- The boundaries of easements, appurtenances, encroachments, units, unit subsidiaries, common property etc. shown on the strata plans to be amalgamated must be retained on the new strata plan (except for easements where the provisions of s 90C of the Real Property Act 1886 apply)
- The plan purpose is PLAN OF AMALGAMATION OF S..... AND S.....

11.21 Amendments to Strata Plans in the A3 Plan format Case Study 11.1.

S101 is an example of a Substitute Strata Plan in the A3 plan format.

The Textual sheet shows:

- The original Strata Plan Number.
- The label SUBSTITUE SHEET below the plan number.
- The plan PURPOSE as STRATA.
- The LAST PLAN reference from the original strata plan or a later outer boundary.
- Only the new DAC number.
- The Surveyors Certificate from Table 3.1.
- The SUBJECT TITLE DETAILS using the title reference(s) and land description prior to deposit of the original Strata Plan.
- Parcels affected by the amendment in the OTHER TITLES AFFECTED.

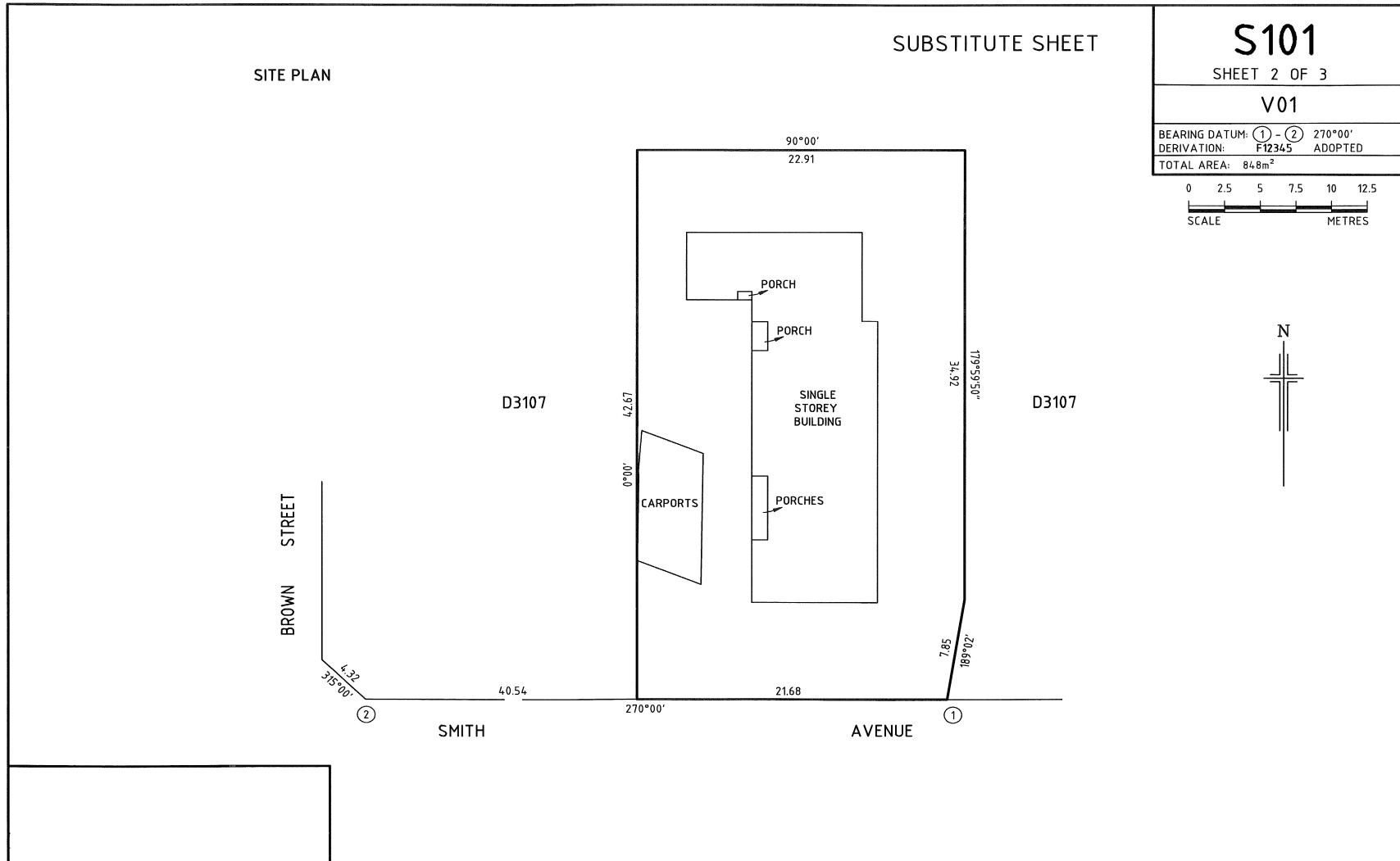
The Site Plan shows:

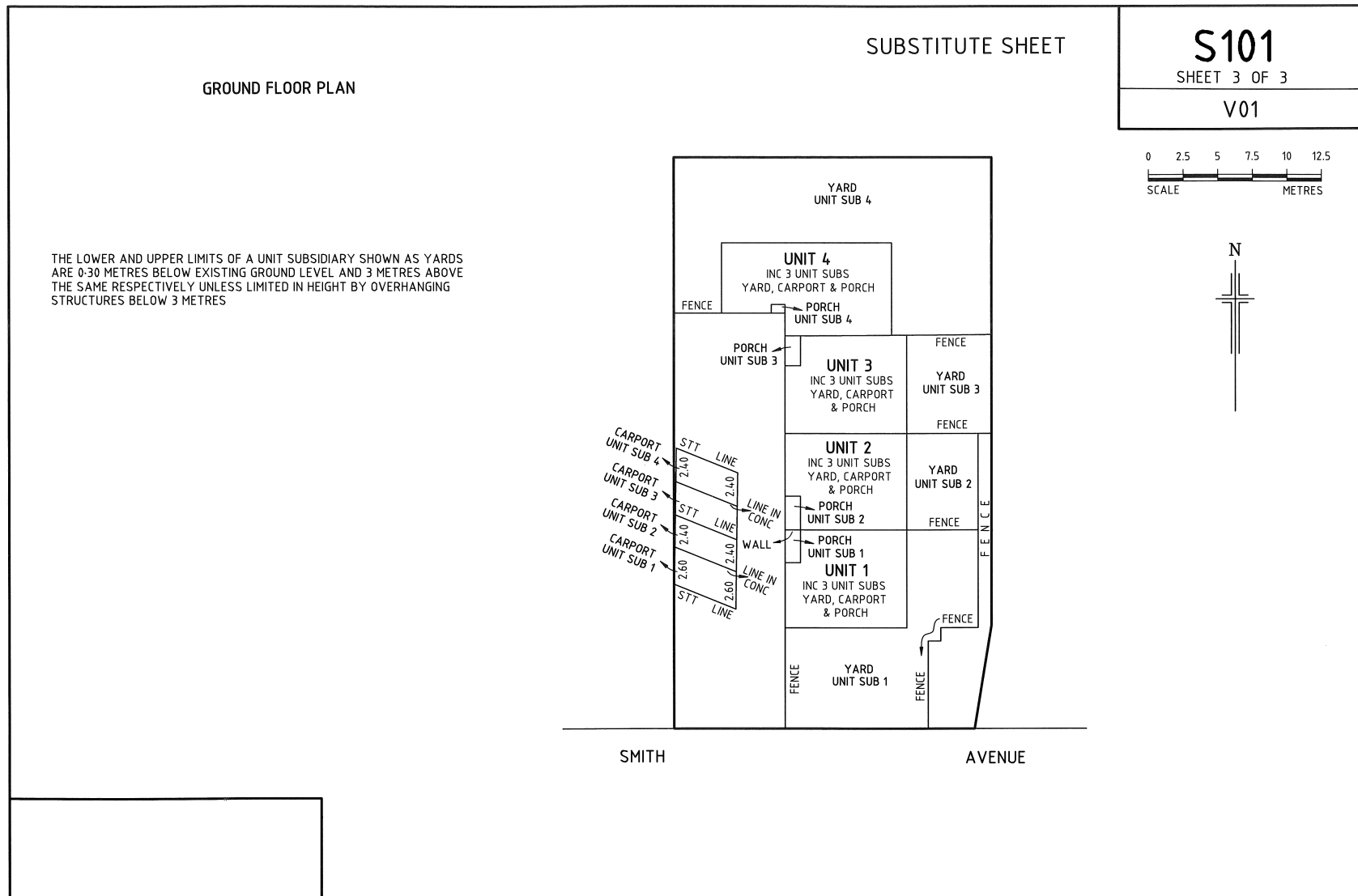
- The total area
- Dimensions of the subject land as shown on the outer boundary plan
- The Label SITE PLAN.
- The label SUBSTITUE SHEET.

The Ground floor plan:

- The Units and their subsidiaries.
- A note regarding the upper and lower limits of the yards (monuments do not require a height limitation note).
- The label SUBSTITUE SHEET

PURPOSE: STRATA MAP REF: 6628-39-H LAST PLAN: F12345	AREA NAME: PROSPECT COUNCIL: CITY OF PORT ADELAIDE ENFIELD DEVELOPMENT NO: 960/5121/14	APPROVED: DEPOSITED:	<h1 style="margin: 0;">S101</h1> <p style="margin: 0;">SUBSTITUTE SHEET SHEET 1 OF 3</p> <p style="margin: 0;">V01</p>																				
AGENT DETAILS: AGENT CODE: REFERENCE:		SURVEYORS CERTIFICATION: CERTIFICATE OF A LICENSED SURVEYOR RELATING TO THE AMENDMENT OF A DEPOSITED STRATA PLAN I, a licensed surveyor under the Survey Act 1992, certify that this plan correctly delineates the units, common property and buildings on the land comprised in the plan. Dated this day of 20.... Licensed Surveyor																					
SUBJECT TITLE DETAILS: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">PREFIX</th> <th style="text-align: left;">VOLUME</th> <th style="text-align: left;">FOLIO</th> <th style="text-align: left;">OTHER</th> <th style="text-align: left;">PARCEL</th> <th style="text-align: left;">NUMBER</th> <th style="text-align: left;">PLAN</th> <th style="text-align: left;">NUMBER HUNDRED / IA / DIVISION</th> <th style="text-align: left;">TOWN</th> <th style="text-align: left;">REFERENCE NUMBER</th> </tr> </thead> <tbody> <tr> <td>CT</td> <td>1392</td> <td>101</td> <td></td> <td>ALLOTMENT(S)</td> <td>24</td> <td>D</td> <td>3107 YATALA</td> <td></td> <td></td> </tr> </tbody> </table>				PREFIX	VOLUME	FOLIO	OTHER	PARCEL	NUMBER	PLAN	NUMBER HUNDRED / IA / DIVISION	TOWN	REFERENCE NUMBER	CT	1392	101		ALLOTMENT(S)	24	D	3107 YATALA		
PREFIX	VOLUME	FOLIO	OTHER	PARCEL	NUMBER	PLAN	NUMBER HUNDRED / IA / DIVISION	TOWN	REFERENCE NUMBER														
CT	1392	101		ALLOTMENT(S)	24	D	3107 YATALA																
OTHER TITLES AFFECTED: CT 5019/111, CT5019/112, CT5019/113, CT5019/114, CT5019/115																							
EASEMENT DETAILS: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">STATUS</th> <th style="text-align: left;">LAND BURDENED</th> <th style="text-align: left;">FORM</th> <th style="text-align: left;">CATEGORY</th> <th style="text-align: left;">IDENTIFIER</th> <th style="text-align: left;">PURPOSE</th> <th style="text-align: left;">IN FAVOUR OF</th> <th style="text-align: left;">CREATION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION												
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION																
ANNOTATIONS:																							





11.22 Amendments to Strata Plans – Case Study 11.2

S18158 is an example of a Substitute Strata Plan. All sheets must show SUBSTITUTE PLAN

The Site plan shows:

- The original Strata Plan number.
- The title reference(s) and land description prior to deposit of the original Strata Plan in the respective Title Reference and Land Description panels
- The Irrigation Area, Division, Hundred, Area, Council, Map Reference panels using current information.
- The OB/Last Plan Reference and the Total Area panels using information from the original Strata Plan.
- All required notations (eg: easements etc.) must be shown under Annotations.
- The certificate including the heading.
- The pre-printed surveyors certificate left blank and struck through and the following is placed directly above the struck through certificate:

FOR CERTIFICATION BY SURVEYOR UNDER THE FIRST SCHEDULE OF REGULATIONS
SEE AMENDED ORIGINAL

The Floor Plans show:

- The certificate including the heading
- The units and unit subsidiaries
- Easements
- Notations with regard to unit subsidiary limitations

