

## 13. PARTY WALLS

Party wall easement rights occur where one building structure occupies or intends to occupy two allotments of land and separate occupation usually occurs.

### 13.1 General Requirements

- 13.1.1 A certified survey must be submitted to create an occupied party wall.
- 13.1.2 Party wall boundaries must be straight lines unless otherwise indicated.
- 13.1.3 The abbreviation for the centre-line of a party wall must be CL PARTY WALL
- 13.1.4 Hatchuring must not be shown on the diagram
- 13.1.5 Party wall angles must be 90° unless shown in bearings.
- 13.1.6 Where practical multiple party wall rights with the same STATUS should be shown consecutively in the EASEMENT DETAILS panel
- 13.1.7 One of the following annotations must be shown in the Annotations panel on the Textual Sheet:  
 PARTY WALL IS OCCUPIED  
 or  
 PARTY WALL IS UNOCCUPIED

### 13.2 Data Requirements

- 13.2.1 A part distance must be shown along the parcel boundary to locate the party wall (see [Figure 13.1](#)).
- 13.2.2 A part distance must be shown along the parcel boundary to indicate the length of the party wall (see [Figure 13.1](#))

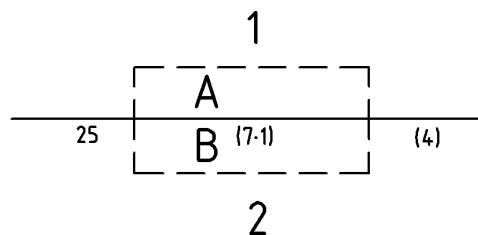


Figure 13.1

- 13.2.3 Distances must be shown for steps on the outer extremities of the Party walls (see [Figure 13.2](#)).
- 13.2.4 Where the stepped Party Wall is uniform on both sides (with internal angles of 90°), distances for the steps must only be shown on one side (see [Figure 13.2](#)).

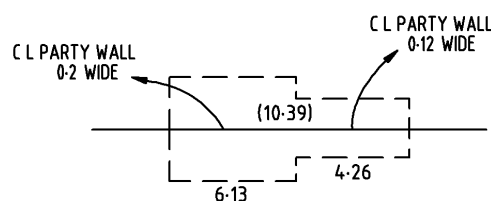


Figure 13.2

- 13.2.5 Where the stepped Party Wall is uniform on one side and not on the other (with internal angles of 90°), distances must be shown on all sides (see [Figure 13.2a](#)).

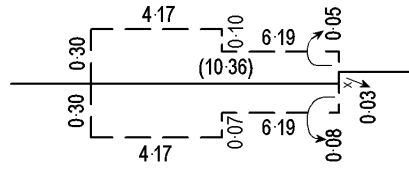


Figure 13.2a

**13.3 Specific Requirements where the Internal angles are 90°**

- 13.3.1 A width must be shown (eg: CL OF PARTY WALL 0.2 WIDE) or distances must be shown at either end of the party wall (see [Figure 13.3](#) and [Figure 13.4](#)).

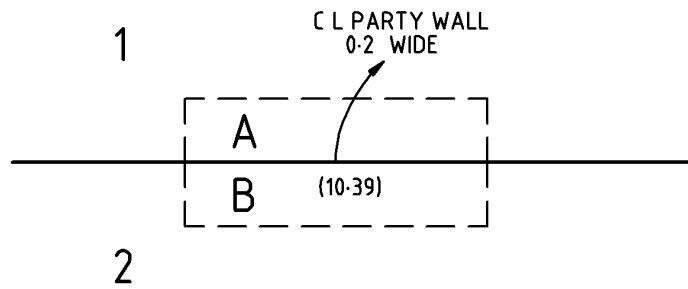


Figure 13.3

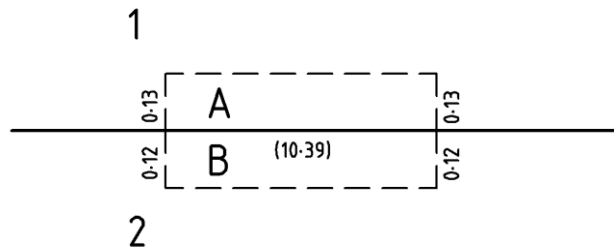


Figure 13.4

**13.4 Specific Requirements where the Internal angles are not 90°**

- 13.4.1 Bearings and distances must be shown for the full extent of the party wall where the internal angles are not 90° (see [Figure 13.5](#))

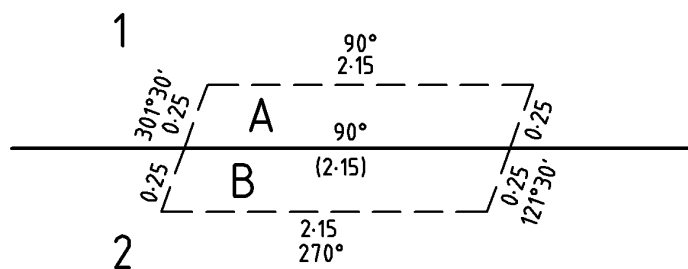


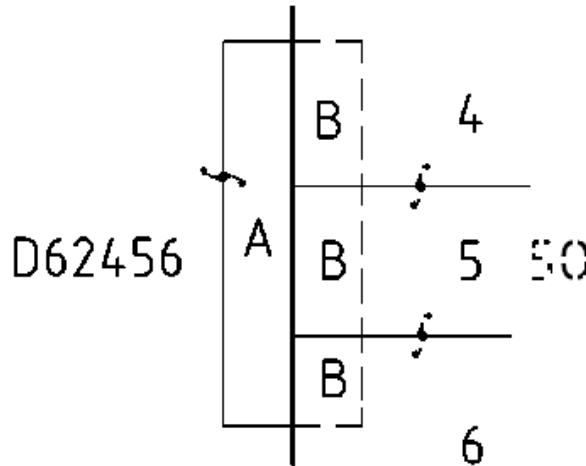
Figure 13.5

### 13.5 Party Walls Shown in the Easement Details Panel – Example

13.5.1 The example below shows the Easement Details Panel on the Textual Sheet for [Figure 13.5](#).

EASEMENT DETAILS							
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION
NEW	1	SHORT	EASEMENT(S)	A	PARTY WALL RIGHTS	B	
NEW	2	SHORT	EASEMENT(S)	B	PARTY WALL RIGHTS	A	

13.5.2 Below is an example of Allotment 50 being subject and together with Party Wall rights and how to delineate the Party Wall when Allotment 50 is divided.



### 13.6 Party Walls Shown on the Diagram Sheet – Examples

EASEMENT DETAILS							
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION
EXISTING	4.5.6	SHORT	EASEMENT(S)	B	PARTY WALL RIGHTS	A	TG 11412668
EXISTING		SHORT	EASEMENT(S)	A	PARTY WALL RIGHTS	B	TG 11412668

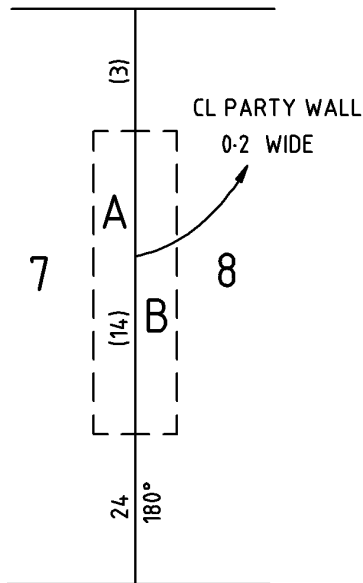


Figure 13.6

STANDARD PARTY WALL

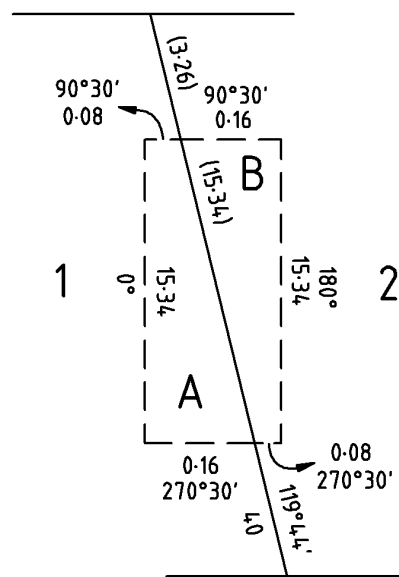


Figure 13.7

OBLIQUE PARTY WALL

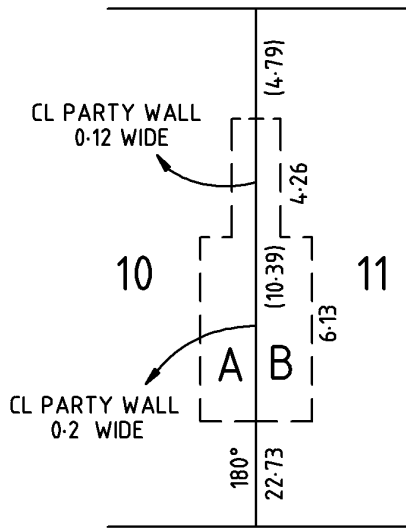


Figure 13.8

STEPPED PARTY WALL

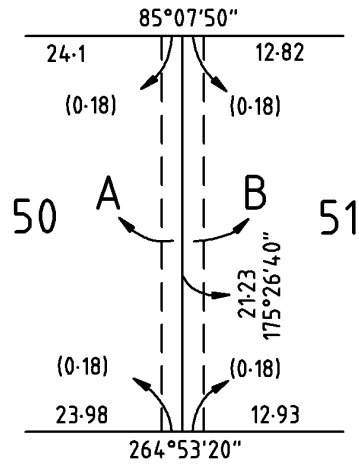


Figure 13.9

NON-STANDARD PARTY WALL

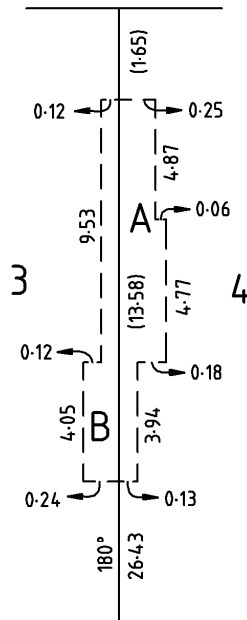
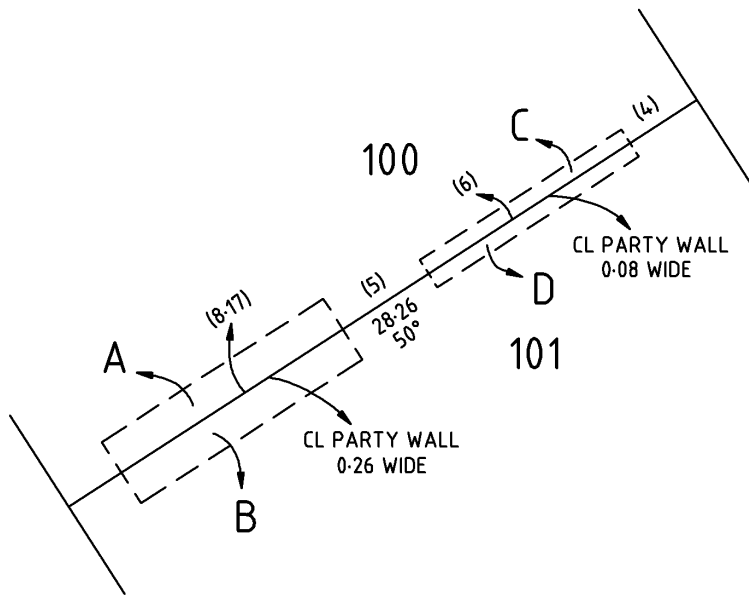


Figure 13.10

NON-STANDARD PARTY WALL



EASEMENT DETAILS							
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION
NEW	100	SHORT	EASEMENT(S)	A	PARTY WALL RIGHTS	B	
NEW	101	SHORT	EASEMENT(S)	B	PARTY WALL RIGHTS	A	
NEW	100	SHORT	EASEMENT(S)	C	PARTY WALL RIGHTS	D	
NEW	101	SHORT	EASEMENT(S)	D	PARTY WALL RIGHTS	C	

Figure 13.11

SEPARATED PARTY WALL

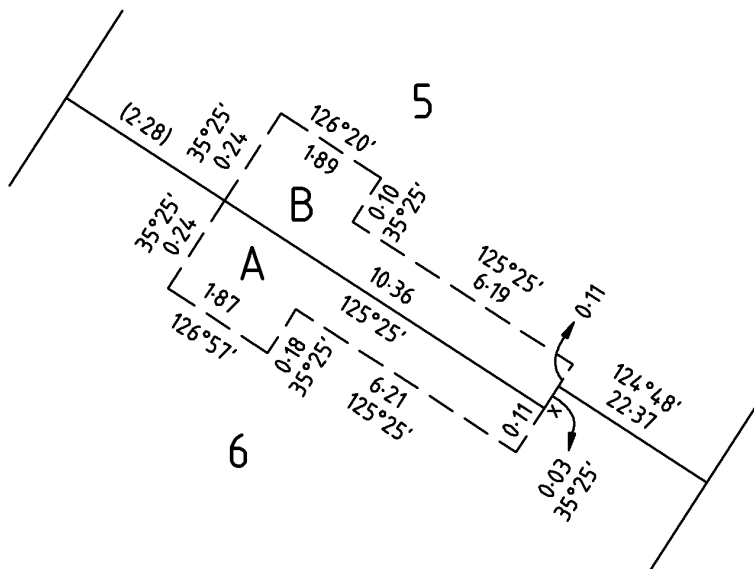


Figure 13.12

NON-STANDARD PARTY WALL

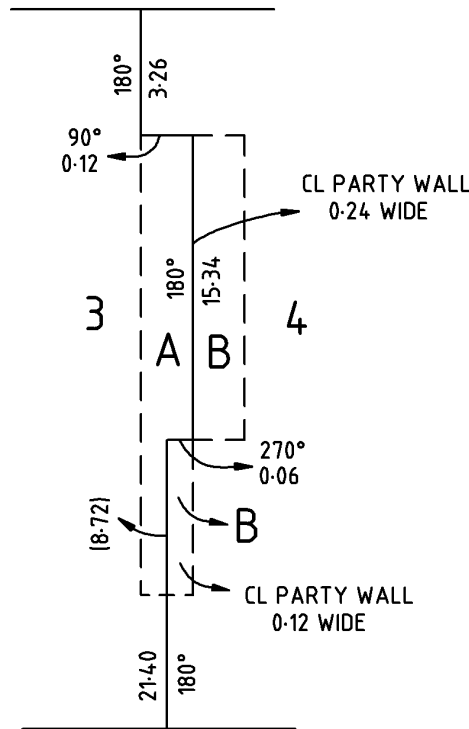


Figure 13.13  
STEPPED PARTY WALL

### 13.7 Party Walls In Community Plans

- 13.7.1 Internal reciprocal rights of support are protected by Section 24 of the Community Titles Act 1996 (i.e. Party Wall rights need not be shown unless it is a condition of the Community Plan).
- 13.7.2 The common wall between Lots (not Strata Lots) may be shown pictorially by hatching without data (see [Figure 13.14](#))

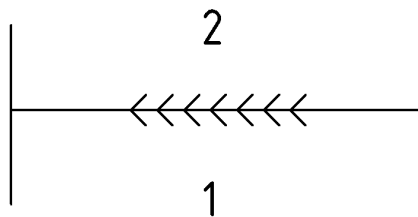


Figure 13.14

13.7.3 Party walls rights can exist between a Community Plan and land outside that scheme (eg: between a Community Plan and allotments in a Division Plan). (See [Figure 13.15](#)).

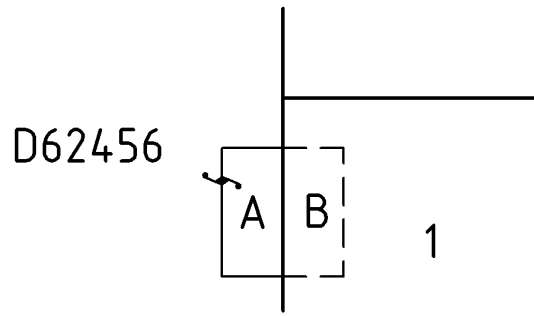


Figure 13.15

EASEMENT DETAILS							
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION
Existing	1	SHORT	EASEMENT(S)	B	PARTY WALL RIGHTS	A	RE 7375602
Existing		SHORT	EASEMENT(S)	A	PARTY WALL RIGHTS	B	RE 7375602

13.7.4 Party Wall rights can exist between a Community Strata (monument based) and allotments in a Division Plan (See [Figure 13.16](#))

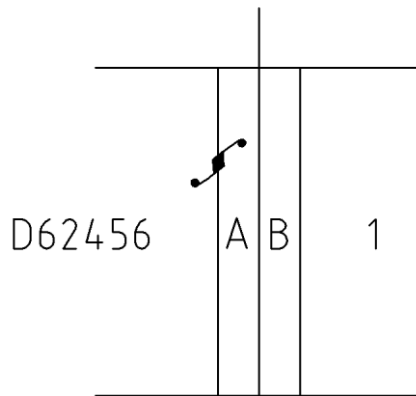


Figure 13.16

EASEMENT DETAILS							
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF	CREATION
Existing	COMMON PROPERTY	SHORT	EASEMENT(S)	B	PARTY WALL RIGHTS	A	RTC 10156070
Existing		SHORT	EASEMENT(S)	A	PARTY WALL RIGHTS	B	RTC 10156070