

16. LEASE PLANS

Lease Plans must be lodged as Filed Plans and accurately define the portion of land to be referred to in a lease document. Lease Plans cannot be combined with any other plan type.

The term *Lease* where used in this section also includes the terms *Underlease* and *Surrender of portion of a Lease or Underlease*.

Note: Abbreviations with a legend may be used

16.1 Specific Textual Sheet Requirements for Lease Plans

For general Textual Sheet requirements, refer to Section 1 General Requirements for Textual Sheets.

16.1.1 The Plan Purpose must show LEASE.

16.1.2 An annotation must be shown in the Annotations panel where a lease plan or portion thereof is superseded, eg:

TO SUPERSEDE F59999

TO SUPERSEDE SHOP A. PORTION OF COMMON MALL IN G351/1986

TO SUPERSEDE OFFICE 2. CARPARK 2 IN F69412

TO SUPERSEDE SHOP A. BALANCE OF LAND IN CT IN G387/1995

TO SUPERSEDE C. Q BALANCE OF LAND IN CT IN F38795

TO SUPERSEDE W BALANCE OF LAND IN CT IN G115/2000

TO SUPERSEDE G71/1995

16.1.3 An annotation must be shown in the Annotations panel where Easements (either dominant or servient) exist, eg:

SEE CT(or CL) FOR EASEMENT DETAILS

SEE CT (or CL) 5748/195 FOR EASEMENT DETAILS (if the plan contains more than one CT/CL)

When the subject land is in a Division Plan or Community Plan that has been deposited for which certificates of title have not yet issued, the following annotation must be shown, eg:

SEE D78152 FOR EASEMENT DETAILS

SEE C20152 FOR EASEMENT DETAILS

Where the subject land has Grants of Easement registered for which certificates of title have not yet issued the annotation is varied to, eg:

SEE F56532 FOR EASEMENT DETAILS

16.1.4 An annotation must be shown in the Annotations panel where current leases exist over the whole of the subject land, eg:

THE WHOLE OF THE WITHIN LAND IS SUBJECT TO LEASE 10258697

An annotation must be shown in the Annotations panel where current leases exist over the whole of one title where the plan consists of several titles, eg:

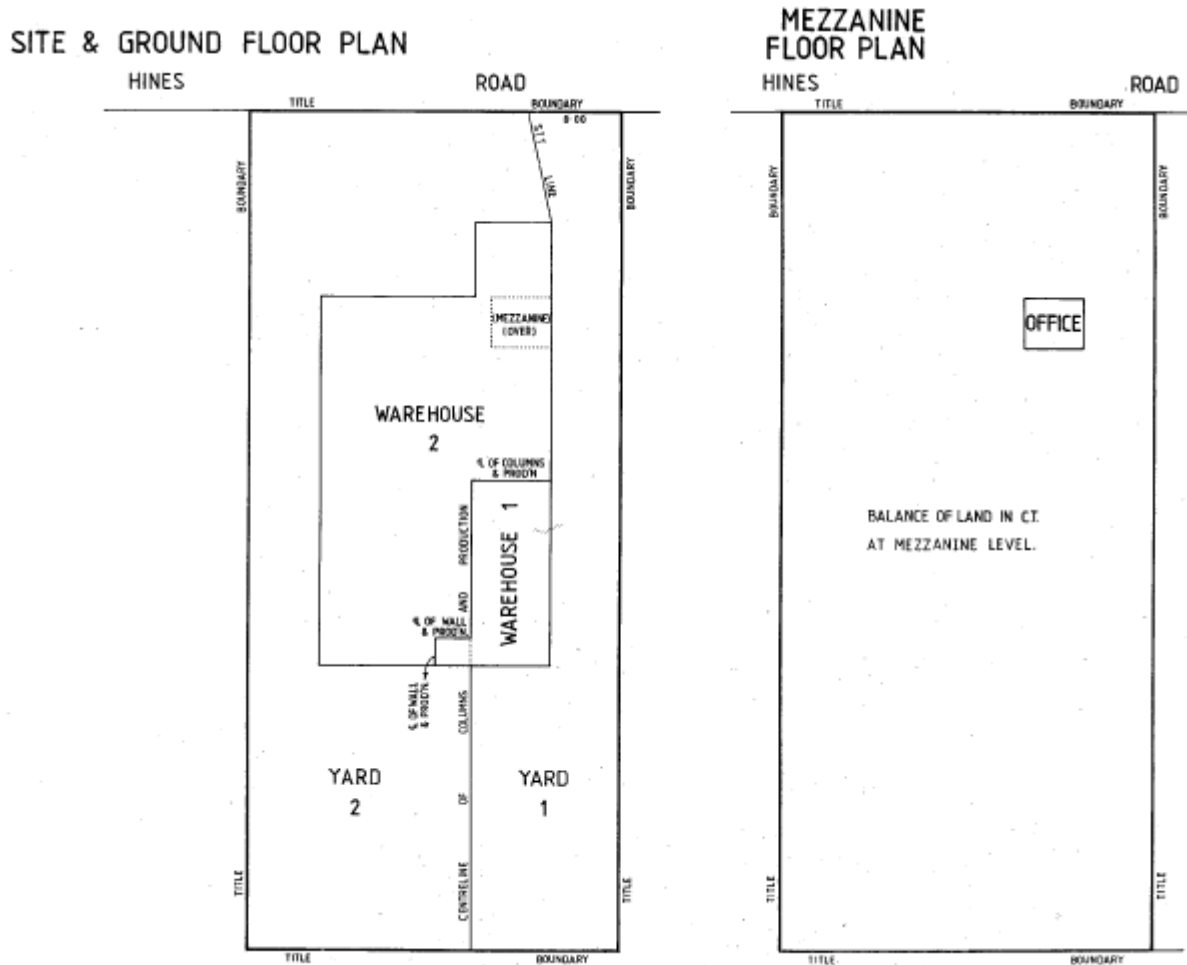
THE WHOLE OF THE WITHIN LAND IN CT 5643/211 IS SUBJECT TO LEASE 10521455

16.2 Specific Diagram Sheet Requirements for Lease Plans

For general Diagram Sheet requirements, refer to Section 7 General Requirements for Diagram Sheets.

16.3 Diagram Sheet Labelling

- 16.3.1 Each diagram sheet must be identified with a label to aid location (and not for definition of height limitations), eg:
SITE PLAN, SITE AND GROUND FLOOR PLAN, FIRST FLOOR PLAN etc.
- 16.3.2 The Site Plan may show buildings, structures and other parcels, but must be plotted accurately in relation to the certificate of title and other cadastral boundaries.
- 16.3.3 The term SITE PLAN may be combined with other labels, eg:
SITE AND GROUND FLOOR PLAN (where the diagram refers to only the ground floor of a multi level building) or
SITE AND FIRST FLOOR PLAN (where the diagram refers to only the first floor of a multi level building).
- 16.3.4 The Site Plan must be the first Diagram Sheet.
- 16.3.5 The label SITE PLAN must be used when the subject land is vacant or where buildings exist and it is the intention to include the whole of the building in the lease.
- 16.3.6 When the whole of the building is shown, a notation must be shown on the Site Plan, eg:
THE WHOLE OF THE SINGLE STOREY BUILDING IS INCLUDED IN PARCEL LABELLED P
THE LEASE PARCEL LABELLED BUILDING CONTAINS THE WHOLE OF THE FOUR
LEVEL BUILDING
- 16.3.7 For a multi level building, subsequent sheets after the Site Plan must be labelled with reference to the relevant floor (eg: SECOND FLOOR PLAN, THIRD FLOOR PLAN etc.). It is acceptable (where space permits) to show multiple floors with appropriate labels on the one diagram sheet.
- 16.3.8 Where the shape of the building is constant throughout the diagram sheets, the first sheet must be labelled SITE PLAN and the following sheets must be labelled with reference to the relevant floor (eg: SECOND FLOOR PLAN).
- 16.3.9 When the building shape varies at different levels
- The outline of the upper levels must be delineated on the Site Plan by connection lines, or
 - A Site Plan must be included with each floor that varies with the Ground Floor.
- 16.3.10 A mezzanine requires a separate floor plan labelled MEZZANINE FLOOR and the extent of the mezzanine must be delineated on the floor plan of the level below using connection lines and broken data stating (MEZZANINE OVER).



16.4 Subject Land Delineation

- 16.4.1 The extent of the subject land must be delineated using bold black lines.
- 16.4.2 Dimensions for the subject land must be shown when all of the parcels are fixed by data.
- 16.4.3 When the internal parcels are delineated by monument or a combination of monument and data, the extent of the subject land must be labelled on the outside of all the bold black lines in accordance with the criteria in Table 16.1 – Bold Black Line Label Decision Table.

Table 16.1 - Bold Black Line Label Decision Table

Subject Land	Bold Black Line Labels
One CT	CT BDY or CT 5123/45 BDY
Several Certificates of Title	CT BDY and C'sT BDY
One CL	CL BDY or CL 1123/65 BDY
Several CL's	CL BDY and CL's BDY
One CR	CR BDY or CR 5563/15 BDY
Several CR's	CR BDY and CR's BDY
Strata Plan	S715 BDY
Unit in SP	UNIT 3 BDY or CT BDY
Portion of Unit in SP (eg: Unit sub not being leased)	PTN UNIT 5 BDY
Community Plan	C22105 BDY

Subject Land	Bold Black Line Labels
Lot in Community Strata Plan	LOT 32 BDY or CT BDY
Portion of Lot in Community Strata Plan (eg: Lot sub not being leased)	PTN LOT 2 BDY
Community Plan and Certificates of Title have not issued	LOT 12 BDY
Section in CT/CL/CR comprising several sections	SEC 57 BDY
Deposited Plan and Certificates of Title have not issued	ALLOTMENT 101 BDY
Allotment of multi allotment CT	ALLOTMENT 59 BDY

16.4.4 Where the subject land extends across more than one certificate of title (CT), Crown Lease (CL) or Crown Record (CR) the internal CT or CL boundaries must be shown on all of the diagram sheets. The CT and CL references must be shown in solid lettering along the boundary delineated by a dotted line, eg.

CT 5265/35 BDY

.....

CL 1251/14 BDY

16.4.5 Where a lease is only over a Piece being portion of an Allotment only the Piece affected needs to be shown on the plan.

16.5 Parcel Identification

16.5.1 Leasable parcels defined by data must be identified by alpha characters (eg: A, B, C) or a descriptive label (eg: AREA K, VINEYARD J, CARPARK 1).

16.5.2 Monument names (eg: OFFICE A etc.) must not be used for leasable parcels defined by data (a certified survey would then be required to establish that the structure is in the position indicated by the data).

16.5.3 Parcels defined by monument must be identified by monumental features (eg: SHOP 1, SHOP A, OFFICE B, DENTIST ROOMS, LIBRARY etc.).

16.5.4 All parcels must show a unique identifier unless they are defined on separate floor levels.

16.5.5 Portions not intended for leasing must be identified by label, eg:

U BALANCE OF LAND IN CT.

V BALANCE OF LAND IN CT AT SECOND FLOOR LEVEL.

16.5.6 Balance parcels must not refer to a prior Lease Plan (eg: BALANCE OF LAND IN GP 6/2004).

16.5.7 Balance parcels should be uniquely identified to simplify the description on future plans that may supersede them (eg: W BALANCE OF LAND IN CT).

16.5.8 The following are not acceptable to identify a leasable parcel:

- Numerical identifiers unless preceded by a monument identifier (eg: SHOP 1, OFFICE 2 etc).
- The identifiers Allotment, Lot, Unit, or Piece.
- Colour to define parcels.
- Hachured areas.
- SUITE (which implies a group of rooms).

16.6 Lease Parcel Boundaries Defined by Data

16.6.1 When using data to define all parcels, the parcels and the subject land (within the bold black lines) must be defined by bearing and distance. In all other situations angles rather than bearings must be shown when defining parcel boundaries.

16.6.2 A leasable parcel fixed by data must have at least one of the following:

- A boundary formed by the bold black lines.
- A boundary formed by an easement boundary (see [Figure 16.1](#))

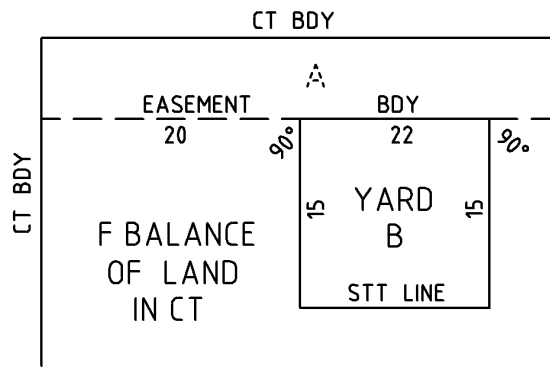


Figure 16.1

- A corner of the leasable parcel fixed by a connection line to the bold black lines with the connection line fixed by a part distance along the bold black lines to a corner of the subject land (see [Figure 16.2](#)).

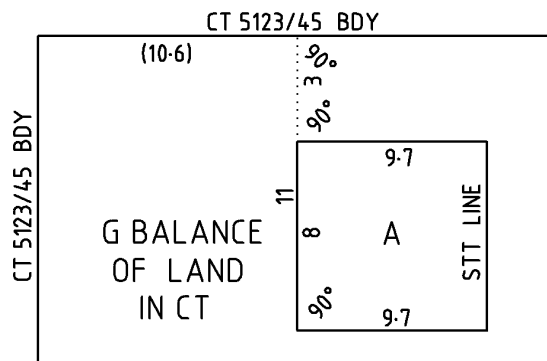


Figure 16.2

16.6.3 Minimum data may be used to fix a connection line or parcel boundary, eg: showing STT LINE (straight line) between two fixed points (see [Figure 16.3](#)).

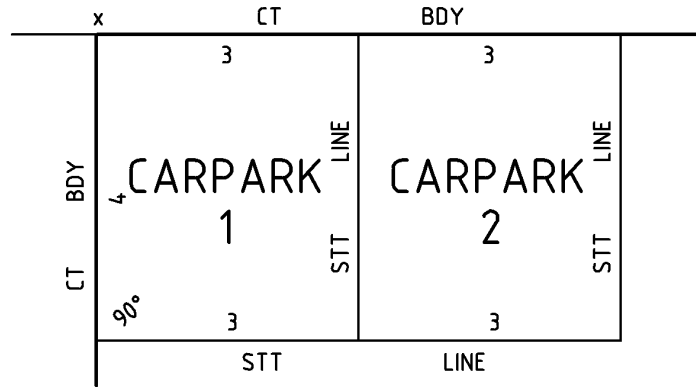


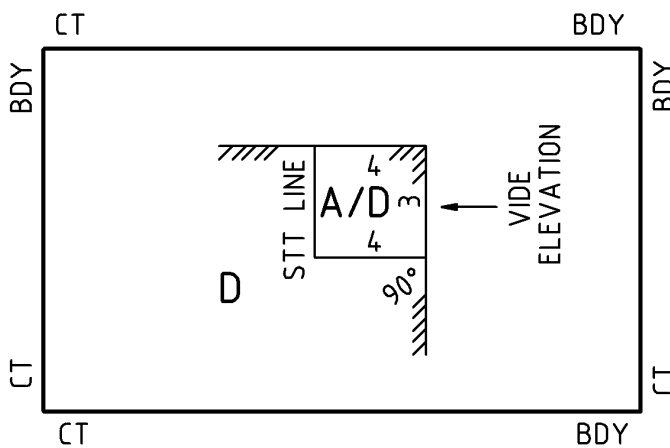
Figure 16.3

16.6.4 Height limitations must be shown using either:

- Australian Height Datum (AHD).
- A distance above or below a monument or from ground level.

Height limitations must be described using notations or a combination of both notation and elevation diagram (see [Figure 16.4](#) and [Figure 16.5](#)).

SITE AND ROOF LEVEL PLAN



ELEVATION

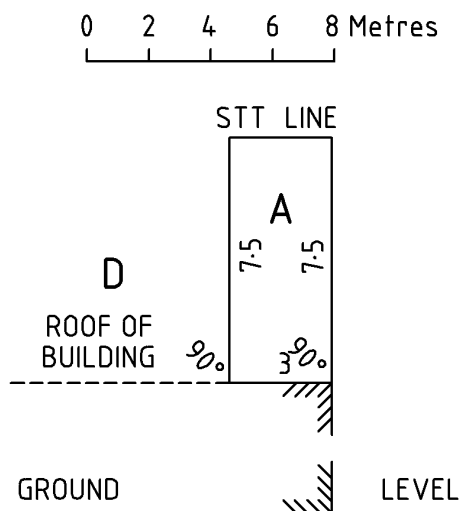


Figure 16.4

NOTATION – THE LOWER AND UPPER LIMITS OF PARCEL A ARE ROOF OF BUILDING AND 7.5 METRES ABOVE THE SAME RESPECTIVELY

16.8 Lease Parcel Boundaries Defined by Combination of Monument and Data

Lease parcel boundaries may be defined with a combination of data and monument (see [Figure 16.6](#) and [Figure 16.7](#) for acceptable presentation).

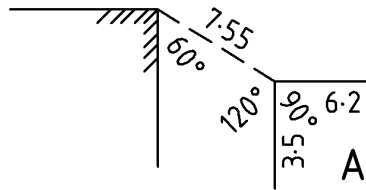


Figure 16.6

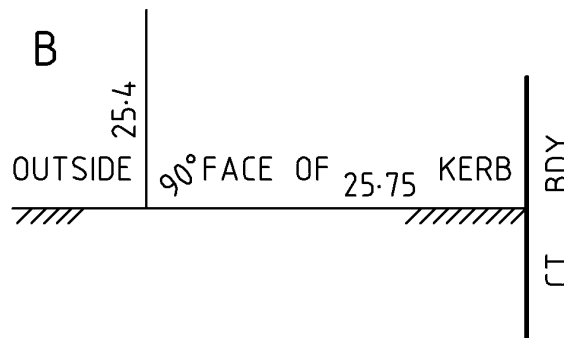


Figure 16.7

16.9 Monument Parcel Boundary Identifiers

Section 5 of the Strata Titles Act 1988 and Section 19 of the Community Titles Act 1996 define specific monument boundaries applicable to those acts. Lease Plans over Strata and Community Strata Plans need only identify lease boundaries that do not form existing unit, lot or subsidiary boundaries.

16.9.1 Leasable parcels within a structure (eg: a building) must show boundaries defined both vertically and horizontally.

16.9.2 A boundary line has no width; therefore monuments that have a width (eg: a wall, fence, pillar etc.) must show a specific description (eg: CENTRE LINE OF PILLARS).

The description must indicate the boundary clearly and without ambiguity

Acceptable descriptions include:

- INSIDE FACE OF
- OUTSIDE FACE OF
- EXPOSED FACE OF
- NORTH FACE OF
- CENTRE LINE OF
- EDGE OF
- JOIN IN

16.10 Monument Parcel Boundary Notations

A combination of notation and labels may be used (eg: car parks can be fixed vertically by notation and horizontally by label and/or data).

- 16.10.1 Notations must be shown on the Diagram Sheet to describe the extent of boundaries and can apply to multiple boundaries, eg:

LEASE BOUNDARIES ARE THE INSIDE FACE OF WALLS, PARTITIONS OR GLASS, THE UPPER SURFACE OF THE FLOOR, AND THE UNDER SURFACE OF THE CEILING UNLESS SHOWN OTHERWISE.

THE LOWER AND UPPER LIMITS OF CARPARKS ARE EXISTING GROUND LEVEL AND 3.00 METRES ABOVE THE SAME RESPECTIVELY UNLESS LIMITED IN HEIGHT BY OVERHANGING STRUCTURES BELOW 3.00 METRES.

YARDS ARE UNLIMITED IN HEIGHT

W BALANCE OF LAND IN CT IS UNLIMITED IN HEIGHT

For further examples of height limitations that can be used (with modification where necessary) see Section 9.21 Lot Subsidiaries (Height Boundaries).

16.11 Monument Parcel Boundary Labels

- 16.11.1 A monument label must be shown on a boundary where the boundary is not fully defined by data, or notation. Where a fence or wall is used as part of the boundary label, the type of fence or wall does not require identification on the plan.

- 16.11.2 Each boundary must be labelled separately. Labels must be arrowed out if there is insufficient space along the boundary.

- 16.11.3 A label must not straddle a boundary line

- 16.11.4 Where a boundary is the continuation of a line of monument, the monument descriptor must be preceded by the term PRODUCTION OF or succeeded by the term PRODUCED, eg:

- PRODUCTION OF OUTSIDE FACE OF WALL
- FACE OF KERB PRODUCED

As a boundary line has no width, labels such as FENCE PRODUCED or PRODUCTION OF WALL are not acceptable.

- 16.11.5 Where a boundary comprises a monument and a straight line continuing from it, the term AND PRODUCTION must succeed the label, eg:

EDGE OF CONCRETE AND PRODUCTION

- 16.11.6 The term AND PRODUCTION must not be shown along a curved boundary.

- 16.11.7 A legend showing all abbreviations used must be shown on the diagram, eg:

LEGEND	
CLW	CENTRE LINE OF WALL
IFW	INSIDE FACE OF WALL
OFW	OUTSIDE FACE OF WALL
STT	STRAIGHT

For a list of acceptable abbreviations see Table 7.2 – Approved Abbreviations Format Table.

- 16.11.8 Hatchuring may be shown at corners and at intervals along a boundary formed by a wall, or other brick/concrete etc. monument to indicate the position of the structure in relation to the boundary (see [Figure 9.2](#)).

- 16.11.9 Stepped boundaries must show a label for each step, or an arrow indicating the extent of the label.

- 16.11.10 The label INSIDE FACE OF WALL refers to the face of the wall inside of the parcel in that it is written
- 16.11.11 The label OUTSIDE FACE OF WALL refers to the face of the wall outside of the parcel in that it is written
- 16.11.12 A label must be shown on the inside of the line to that parcel it refers. If a monument parcel boundary notation and label(s) exist, a notation must be shown to clarify any boundary labels, eg:

BOUNDARY LABELS REFER ONLY TO THE PARCEL ON THE SIDE OF THE LINE IN THAT THEY ARE WRITTEN

(In [Section 16.18 Lease Plans – Case Study – FX59236](#) the labels indicate:

The boundary between SHOP 1 and SHOP 2 is the centre line of the wall as it is labelled on both sides

The boundaries between SHOP 2 and SHOP 3 are the outside face of the wall for SHOP 2 as indicated by the label and inside face of wall for SHOP 3 as indicated by the notation (see [Figure 16.8](#))

The boundaries between SHOP 3 and VERANDAH are the centre line of the wall for SHOP 3 as indicated by the label and the inside face of the wall for VERANDAH as indicated by the notation (see [Figure 16.9](#))



Figure 16.8



Figure 16.9

16.12 Monument Parcel Boundary Labels – Examples

CENTRE LINE OF BRASS STRIP IN CONCRETE
CENTRE LINE OF PILLARS AND PRODUCTION
CENTRE LINE OF FENCE AND PRODUCTION
CENTRE LINE OF ANTENNA
JOIN IN CONCRETE
RIDGE OF ROOF
JOIN IN CONCRETE AND PRODUCTION
NORTHERN FACE OF COLUMNS AND PRODUCTION (SOUTHERN ETC)
CENTRE LINE OF POSTS AND PRODUCTION
CENTRE LINE OF COLUMNS AND PRODUCTION
EASTERN FACE OF RETAINING WALL (NORTHERN ETC)
EDGE OF CONCRETE
EXPOSED FACE OF RETAINING WALL
EDGE OF CONCRETE AND PRODUCTION
EXPOSED FACE OF RETAINING WALL AND PRODUCTION
EDGE OF CONCRETE PATH
SOUTHERN FACE OF WALL (NORTHERN ETC)
EDGE OF CONCRETE PATH AND PRODUCTION
CENTRE LINE OF WALL
CENTRE LINE OF WALL AND PRODUCTION
FACE OF KERB
INSIDE FACE OF WALL
BACK OF KERB
INSIDE FACE OF WALL AND PRODUCTION
EDGE OF PAVING BRICKS AND PRODUCTION
INSIDE FACE OF WALL PRODUCED
WESTERN FACE OF FENCE AND PRODUCTION
OUTSIDE FACE OF WALL
CENTRE LINE OF FENCE
PRODUCTION OF OUTSIDE FACE OF WALL
SOUTHERN FACE OF PILLARS (EASTERN ETC)
OUTSIDE FACE OF WALL AND PRODUCTION
CENTRE LINE OF PILLARS PRODUCED
OUTSIDE FACE OF WALL PRODUCED

16.13 Encroachments over Public Land

- 16.13.1 Encroachments over public land cannot be leased. Therefore, only the portion of the structure within the title boundary is required on the diagram.
- 16.13.2 If the encroachment is shown for description purposes in permits, covenants, licences etc, then it must be shown as in [Figure 16.10](#).
 - Using connection lines.
 - Is uniquely identified in solid lettering.
 - With a notation, eg:

ENCROACHMENT OF VERANDAH B OCCURS OVER JONES (PUBLIC) STREET AND IS NOT A LEASABLE PARCEL



Figure 16.10

- 16.13.3 If the encroachment is shown and is very close to the title boundary a certified survey may be required (see [Section 16.7 Lease Parcel Boundaries Defined by Monument](#)).
- 16.13.4 Structures or other areas completely contained on public land are not acceptable on a lease plan. (These encroachments can be delineated on a Plan for Licence and lodged in the General Registry Office.)

16.14 Existing Leases

- 16.14.1 When a lease is still current over the whole of the subject land or the whole of the land in a CT (or CL) within the subject land, an annotation must be shown in the Annotations panel on the Textual sheet.
- 16.14.2 The boundaries of existing registered leases not over the whole of a CT (or CL) and underleases of portion of a lease must be shown on the diagram sheet.
- 16.14.3 The extent of the lease must be plotted using connection lines unless it coincides with the parcel boundary, and the number of the lease must be shown in broken lettering (see [Figure 16.11](#)).

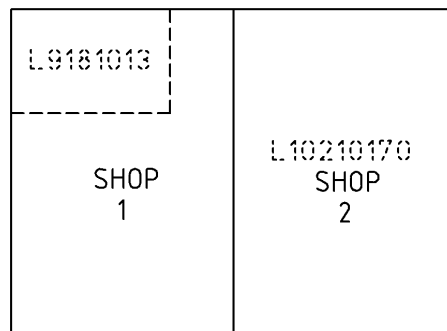


Figure 16.11

16.15 Existing Easements

16.15.1 Where an existing easement traverses a leaseable parcel all existing easements over the subject land must be shown on the Diagram Sheet(s) and Annotations Panel shown. e.g

SEE CT FOR EASEMENT DETAILS

Dispensation from this requirement may be given by the Plans Client Advice Officer (prior to lodgement of the plan) if several easements traverse a leaseable parcel and the delineation of those easements would unnecessarily complicate the plan.

Where the easement(s) only traverse non-leaseable parcel(s), (eg: balance of land in CT) delineation of the easement(s) is optional.

16.15.2 If dispensation from delineating the easements is granted, then a notation must be shown on the diagram eg:

SEE CT FOR EASEMENT(S) DETAILS

or if the plan contains more than one CT,

SEE CT 5981/962 FOR EASEMENT(S) DETAILS

16.15.3 Data must not be shown for easements shown on a Lease Plan Diagram Sheet but accurate delineation of the easement must be shown (see [Figure 16.12](#)) with a note in the Annotations panel.

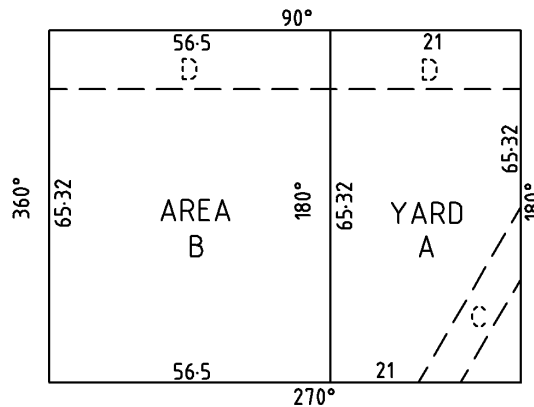


Figure 16.12

16.15.4 Where the boundary of a leaseable parcel not being a monument is coincident with an easement boundary, the boundary must be labelled EASEMENT BOUNDARY.

16.15.5 Where a boundary of a leaseable parcel fixed by monument is in close proximity to an easement boundary, a notation must be shown on the diagram to clarify that the easement does not encroach over the parcel eg:

EASEMENT B DOES NOT ENCROACH INTO SHOP 5.

16.15.6 Easements must be delineated on each level/floor diagram unless the easement is limited in height, then the easement must only be shown on the floor(s) within the height limitations of the easement.

16.15.7 Where a title for the subject land shows a dominant right (i.e. it is together with easement rights over adjoining land), the servient land outside the bold black lines must not be delineated on the Lease Plan.

16.15.8 Where an appurtenance exists (i.e. only portion of a title for the subject land is together with easement rights over adjoining land), the appurtenance boundary must be shown on the Lease Plan.

Where an existing appurtenance only traverses a non-leaseable parcel, (eg: balance of land in CT) delineation of the appurtenance is optional.

16.16 Leasing of Crown Land

A lease is registered on a Crown Lease as an Underlease.

- 16.16.1 Plans for Lease over Crown Records can be lodged only when a freehold title is to issue.

16.17 Superseding a Prior Lease Plan

- 16.17.1 Details of the superseded plans/parcels must be shown in the Annotations panel on the Textual Sheet.
- 16.17.2 Where a prior Lease Plan is superseded either wholly or in part, the whole of the land contained in the certificates of title for the subject land must be delineated on the plan.

Where the subject land has many Lease Plans lodged over it (eg: shopping centres) or the subject land is extensive (eg: Adelaide Airport or the Common Property in large Strata or Community Plans), dispensation may be granted by the Plans Client Advice Officer (prior to lodgement of the plan) allowing portion of the title to be delineated (i.e. the bold black line is left open ended).
- 16.17.3 The parcel identifier on the new plan must be different to that of the superseded parcel (eg: Parcel T45 on the superseded plan may be identified as T45.1 or T45A on the superseding plan or given a new identifier).
- 16.17.4 Where an existing Lease Plan (or portion thereof) is not being superseded, the portions of that plan not superseded must be shown as an abuttal.

(See [Figure 16.13](#), [Figure 16.14](#), [Figure 16.15](#) and [Figure 16.16](#) for examples of a series of superseded plans over one C.T.)

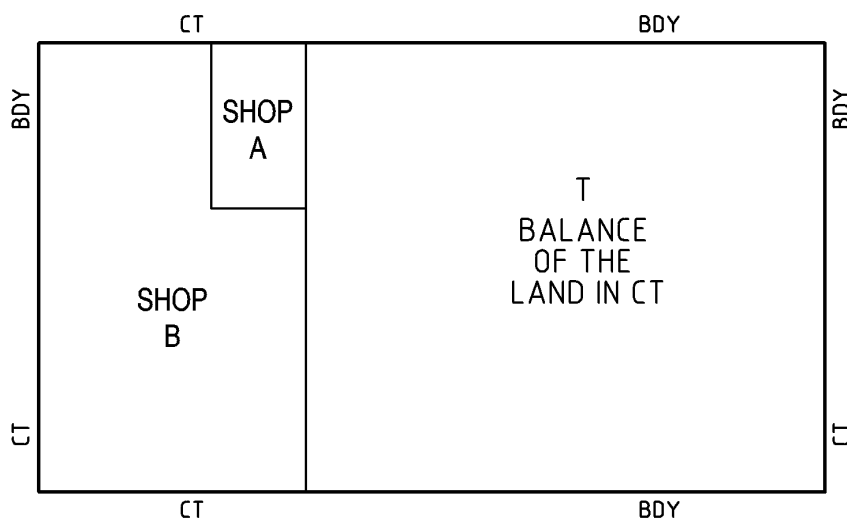


Figure 16.13

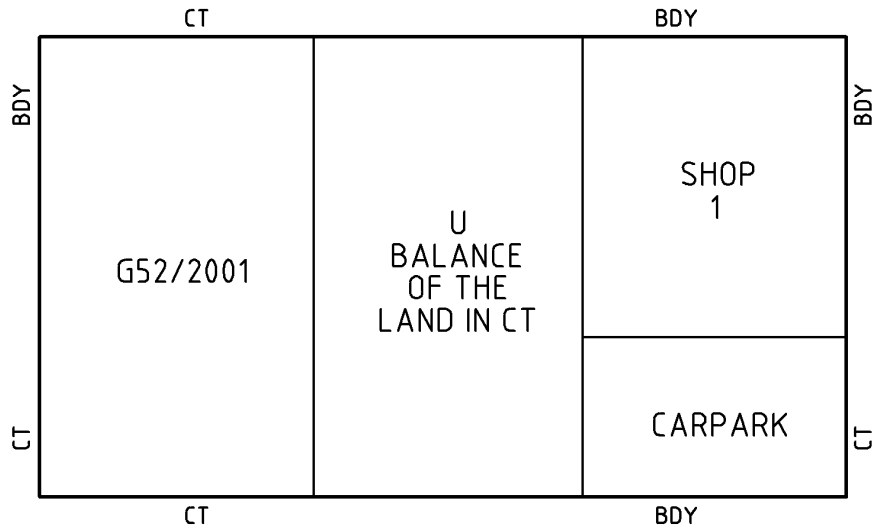


Figure 16.14

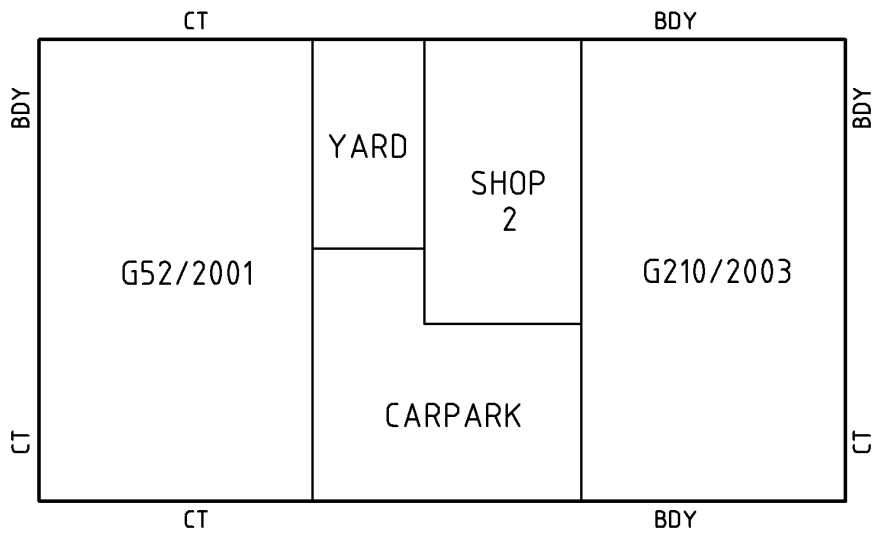


Figure 16.15

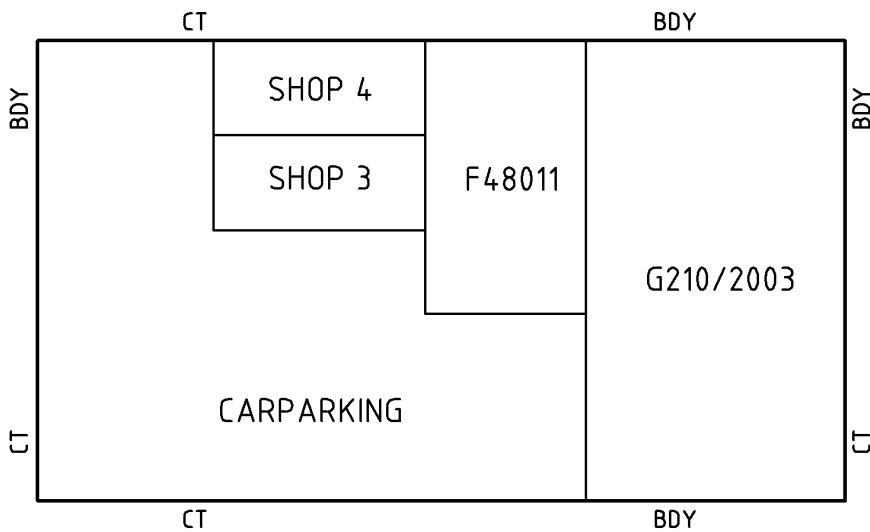


Figure 16.16


16.17.5 The abutting lease plans may be bounded by bold black lines to distinguish them as abutments. Line width for plan abutments must be constant over the plan.

- 16.17.6 Parcels that do not show labels for coinciding boundaries abutting prior Lease Plans adopt the definition shown on the prior plan unless shown otherwise.
- 16.17.7 The new lease boundaries must not overlap abutting Lease Plans.
- 16.17.8 Boundaries common to both new and superseded plans must be plotted to coincide if the plans were shown at the same scale.
- 16.17.9 Where a common boundary is fixed by data on an abutting lease plan and fixed by monument on a new plan, a certified survey is required to ascertain that the monument is in the exact position as the data before the new lease plan can be Accepted for Filing.
- 16.17.10 Current existing leases must be shown (see 16.14 Existing Leases for applicable requirements).
- 16.17.11 Portion of a leasable parcel cannot be superseded, eg:
SHOP 8 in F47654 is now two shops and only one of the shops is included in the new lease. The whole of shop 8 in the prior plan is shown on the new plan and relabelled as, eg: SHOP 8B and SHOP 8C.
- 16.17.12 Portion of a parcel in a prior plan considered not leasable (eg: T BALANCE OF THE LAND IN CT or COMMON MALL) may be superseded with prior approval from the Plans Client Advice Officer before lodgement of the plan.

16.18 Lease Plans – Case Study – FX59236

The plan consists of:

- Superseding portion of a prior plan

PURPOSE: LEASE MAP REF: 6628.33.H LAST PLAN:	AREA NAME: RIDGEHAVEN COUNCIL: CITY OF TEA TREE GULLY DEVELOPMENT NO:	APPROVED:/...../..... DEPOSITED/FILED:/...../.....	 FX59236 SHEET 1 OF 2 V01																														
AGENT DETAILS: TORRENS SURVEYS 11 ADELAIDE STREET, ADELAIDE SA 5000 Ph: (08) 5625 1256 Fax: (08) 5625 1257		SURVEYORS CERTIFICATION:																															
AGENT CODE: FRTD REFERENCE: A125.365																																	
SUBJECT TITLE DETAILS:																																	
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>PREFIX</th> <th>VOLUME</th> <th>FOLIO</th> <th>OTHER</th> <th>PARCEL</th> <th>NUMBER</th> <th>PLAN</th> <th>NUMBER HUNDRED / IA / DIVISION</th> <th>TOWN</th> <th>REFERENCE NUMBER</th> </tr> </thead> <tbody> <tr> <td>CT</td> <td>5415</td> <td>25</td> <td></td> <td>ALLOTMENT(S)</td> <td>5</td> <td>D</td> <td>56598</td> <td>YATALA</td> <td></td> </tr> <tr> <td>CT</td> <td>5281</td> <td>362</td> <td></td> <td>ALLOTMENT(S)</td> <td>6</td> <td>D</td> <td>56598</td> <td>YATALA</td> <td></td> </tr> </tbody> </table>	PREFIX	VOLUME	FOLIO	OTHER	PARCEL	NUMBER	PLAN	NUMBER HUNDRED / IA / DIVISION	TOWN	REFERENCE NUMBER	CT	5415	25		ALLOTMENT(S)	5	D	56598	YATALA		CT	5281	362		ALLOTMENT(S)	6	D	56598	YATALA				
PREFIX	VOLUME	FOLIO	OTHER	PARCEL	NUMBER	PLAN	NUMBER HUNDRED / IA / DIVISION	TOWN	REFERENCE NUMBER																								
CT	5415	25		ALLOTMENT(S)	5	D	56598	YATALA																									
CT	5281	362		ALLOTMENT(S)	6	D	56598	YATALA																									
OTHER TITLES AFFECTED:																																	
EASEMENT DETAILS:																																	
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ANNOTATIONS: TO SUPERSEDE T BALANCE OF THE LAND IN G201/2001 AND SHOP A, SHOP B AND E BALANCE OF THE LAND IN CT IN F55116																																	

16.19 Lease Boundaries defined by coordinates

Lease Boundaries can be defined by Coordinates in rural or large open spaces where monuments or natural features are not appropriate for adoption and it is difficult to provide an accurate data relationship to the subject land boundary.

- 16.19.1 Where lease parcels defined by coordinates are close or co-incidental to a title boundary, certification of a Licensed Surveyor is required. See Table 3.1
- 16.19.2 Corners of leasable parcels that are referenced by coordinates must be numbered on the diagram and in a schedule.
- 16.19.3 Coordinates must be to two significant figures and shown in a schedule next to the corner numbers.
- 16.19.4 Coordinates must be within title or crown lease boundaries and are not to coincide with monuments, cadastral or easement boundaries.
- 16.19.5 Where the line of a lease boundary intersects the Title Boundary a point number is shown both on the diagram and in the schedule. The schedule must describe the position of the intersection point eg. EASTERN CT BOUNDARY The intersecting line must be fixed by a bearing from the coordinated point to the intersecting point or by a distance along a CT Boundary.
- 16.19.6 The Bearing Datum must be derived from MGA 94. The Derivation can be from GNSS or a Survey mark with the position of the mark plotted on the plan.

BEARINGDATUM: MGA 94 ZONE 54

DERIVATION: GNSS

BEARINGDATUM: MGA 94 ZONE 54

DERIVATION: 6628/2032

