



# DEPARTMENT OF LANDS

53

25 Pirie Street, Adelaide, South Australia  
Box 1354, G.P.O., Adelaide, S.A. 5001

Telephone Enquiries

## TO ALL CONVEYANCERS

When replying please quote

### Re COMMON PLAN FORMAT

The Department of Lands has been working for some time towards the introduction of a Common Plan Format. This is simply the rationalisation of a wide variety of plan forms, drafting standards and plan lodgement procedures that are either prescribed by statute or are requirements of the Registrar-General or the Surveyor-General for all plans lodged in the Department of Lands.

In effect, a reduction in the number of plan forms presently used and uniformity of drafting standards is achieved.

Regulations amending the Real Property Act, as regards division and strata plans, and the Surveyor's Act as regards all certified Surveys, will come into operation on 12th November 1987 simultaneously with other general requirements of the Registrar-General and the Surveyor-General. A comprehensive list of these requirements has been issued to all registered surveyors and survey drafting firms.

There are four prevailing plan types.

- Viz.
- DP - for all deposited plans which incorporate any proposed dealing to divide, amalgamate or otherwise change the shape of an existing parcel or allotment regardless of whether the subject land is freehold or crown tenure.
  - SP - for Strata Plans.
  - GP - for G.R.O. Plans
  - FP - for all other Plans.

### LODGEMENT OF PLANS

Areas of lodgement for Plans are:-

- Road Plans - Roads Group, Surveyor General's Office, 3rd Floor, Education Department Building
- G.R.O. Plans - Amendments Section, 3rd Floor, Registrar-General's Office, Colonel Light Centre
- All other Plans - Plans Section, 5th Floor, Registrar-General's Office, Colonel Light Centre

Other points of significance to Conveyancers are:-

- all plan headings and annotations will be contained within a panel on the plan.
- included angles will be replaced by bearings on all plans, except G.R.O. Plans and some fixings on Strata Plans.
- diagrams on Certificates of Title and Land Grants issuing from CPF plans will show bearings in lieu of included angles.

The new Common Plan Forms can be purchased from "Mapland".

A sample plan of division is included in this notice for your convenience.

If you require further information or assistance, phone Ian Hales on 227.2844

(I.J. HALES)

EXECUTIVE ASSISTANT

REGISTRAR-GENERAL'S OFFICE

2.11.1987

**SPECIMEN PLAN B**  
PLAN NUMBER  
**DP 67890**

**CURVE DATA**

STATION	CHORD BEARS (1:5000)	CHORD LENGTH (M)	ARC LENGTH (M)	ANGLE (DEG)
A1	12.55	57.00	71.00	115.00
A2	12.55	57.00	71.00	115.00
B1	12.55	57.00	71.00	115.00
B2	12.55	57.00	71.00	115.00
C1	12.55	57.00	71.00	115.00
C2	12.55	57.00	71.00	115.00

THIS IS SHEET 1 OF 1 SHEET  
ACCEPTED FOR FILING 1/11  
BY THE REGISTRAR OF DEEDS  
IN ACCORDANCE WITH THE REAL PROPERTY ACT  
TOTAL AREA 100.00 HA  
SCALE 1:5000  
DRAWN BY  
CHECKED BY  
DATE

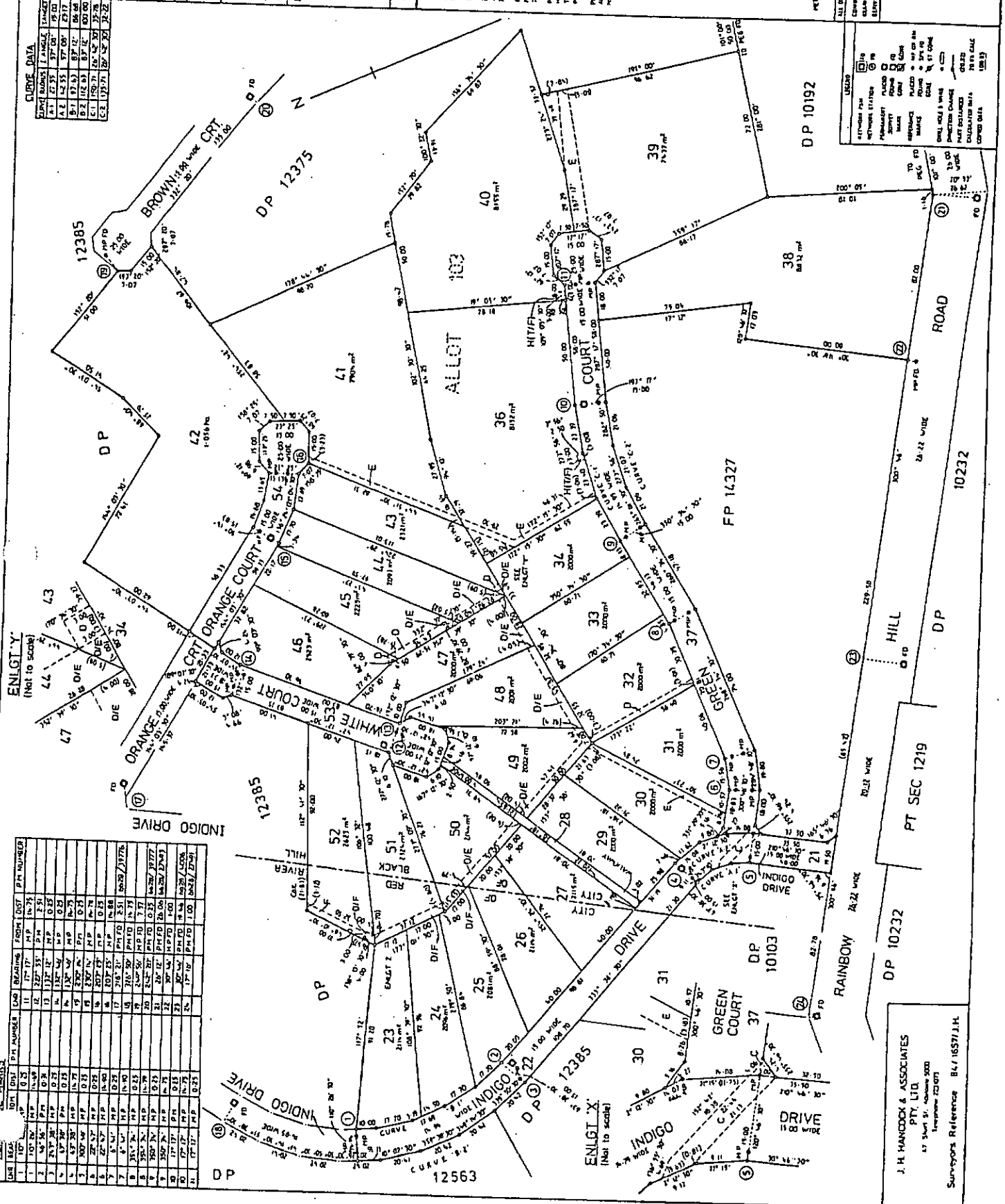
**REGISTERED WHITE CLIFFS**  
RAINBOW VALLEY  
CITY, RED RIVER, A. CITY, BLACK HILL

PLAN OF  
DIVISION  
OF ALLOTMENT 103 IN F.P. 17881  
OF SECTION 329

THESE ALLOTMENTS 21 & 27 MARKED C HEREON  
ARE SUBJECT TO AN EXISTING EASEMENT TO THE  
PROPERTY OF WHICH REDUCED YIELD (1) VOL. 100, NO. 543

THESE ALLOTMENTS 21 & 27 MARKED C HEREON  
ARE SUBJECT TO AN EXISTING EASEMENT TO THE  
PROPERTY OF WHICH REDUCED YIELD (1) VOL. 100, NO. 543

PERMITS MUST BE OBTAINED AT ALL TIME ROAD INTERSECTION  
ALL DISTANCES ARE SHOWN IN METERS  
COURTESY OF THE REGISTRAR OF DEEDS  
DRAWN BY  
CHECKED BY  
DATE



ENGLT.Y.  
(Not to scale)

**BEARING AND DISTANCE**

LINE	BEARING	DISTANCE (M)	BEARING	DISTANCE (M)
1	177° 17'	16.75	N 4° 30' E	10.00
2	227° 55'	2.51	S 89° 00' E	10.00
3	137° 12'	0.35	S 89° 00' E	10.00
4	137° 12'	0.35	S 89° 00' E	10.00
5	137° 12'	0.35	S 89° 00' E	10.00
6	137° 12'	0.35	S 89° 00' E	10.00
7	137° 12'	0.35	S 89° 00' E	10.00
8	137° 12'	0.35	S 89° 00' E	10.00
9	137° 12'	0.35	S 89° 00' E	10.00
10	137° 12'	0.35	S 89° 00' E	10.00
11	137° 12'	0.35	S 89° 00' E	10.00
12	137° 12'	0.35	S 89° 00' E	10.00
13	137° 12'	0.35	S 89° 00' E	10.00
14	137° 12'	0.35	S 89° 00' E	10.00
15	137° 12'	0.35	S 89° 00' E	10.00
16	137° 12'	0.35	S 89° 00' E	10.00
17	137° 12'	0.35	S 89° 00' E	10.00
18	137° 12'	0.35	S 89° 00' E	10.00
19	137° 12'	0.35	S 89° 00' E	10.00
20	137° 12'	0.35	S 89° 00' E	10.00
21	137° 12'	0.35	S 89° 00' E	10.00
22	137° 12'	0.35	S 89° 00' E	10.00
23	137° 12'	0.35	S 89° 00' E	10.00
24	137° 12'	0.35	S 89° 00' E	10.00
25	137° 12'	0.35	S 89° 00' E	10.00
26	137° 12'	0.35	S 89° 00' E	10.00
27	137° 12'	0.35	S 89° 00' E	10.00
28	137° 12'	0.35	S 89° 00' E	10.00
29	137° 12'	0.35	S 89° 00' E	10.00
30	137° 12'	0.35	S 89° 00' E	10.00
31	137° 12'	0.35	S 89° 00' E	10.00
32	137° 12'	0.35	S 89° 00' E	10.00
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39	137° 12'	0.35	S 89° 00' E	10.00
40	137° 12'	0.35	S 89° 00' E	10.00
41	137° 12'	0.35	S 89° 00' E	10.00
42	137° 12'	0.35	S 89° 00' E	10.00
43	137° 12'	0.35	S 89° 00' E	10.00
44	137° 12'	0.35	S 89° 00' E	10.00
45	137° 12'	0.35	S 89° 00' E	10.00
46	137° 12'	0.35	S 89° 00' E	10.00
47	137° 12'	0.35	S 89° 00' E	10.00
48	137° 12'	0.35	S 89° 00' E	10.00
49	137° 12'	0.35	S 89° 00' E	10.00
50	137° 12'	0.35	S 89° 00' E	10.00
51	137° 12'	0.35	S 89° 00' E	10.00
52	137° 12'	0.35	S 89° 00' E	10.00

**J. H. HANCOCK & ASSOCIATES**  
PTY. LTD.  
47 Short St. Adelaide 5000  
Telephone 123 071  
Surveyors Reference B4716571/J.H.